

GSWC LEVEL II CERTIFIED
DESIGN PROFESSIONAL #05744
(EXP. 02.17.2015)

280 SETTLEDOWN COURT
ROSWELL, GEORGIA 30075
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ARC/MRPA PLANS

FOR:

TAIMEN on the RIVER

Phase II

690 RIVERSIDE ROAD
LAND LOT 494
1ST DISTRICT, 2ND SECTION
CITY OF ROSWELL
FULTON COUNTY, GEORGIA

FOR:

ARCHWAY CUSTOM HOMES

227 SANDY SPRINGS PLACE
SUITE D-377
SANDY SPRINGS, GA 30328
770.480.6107

REVISIONS

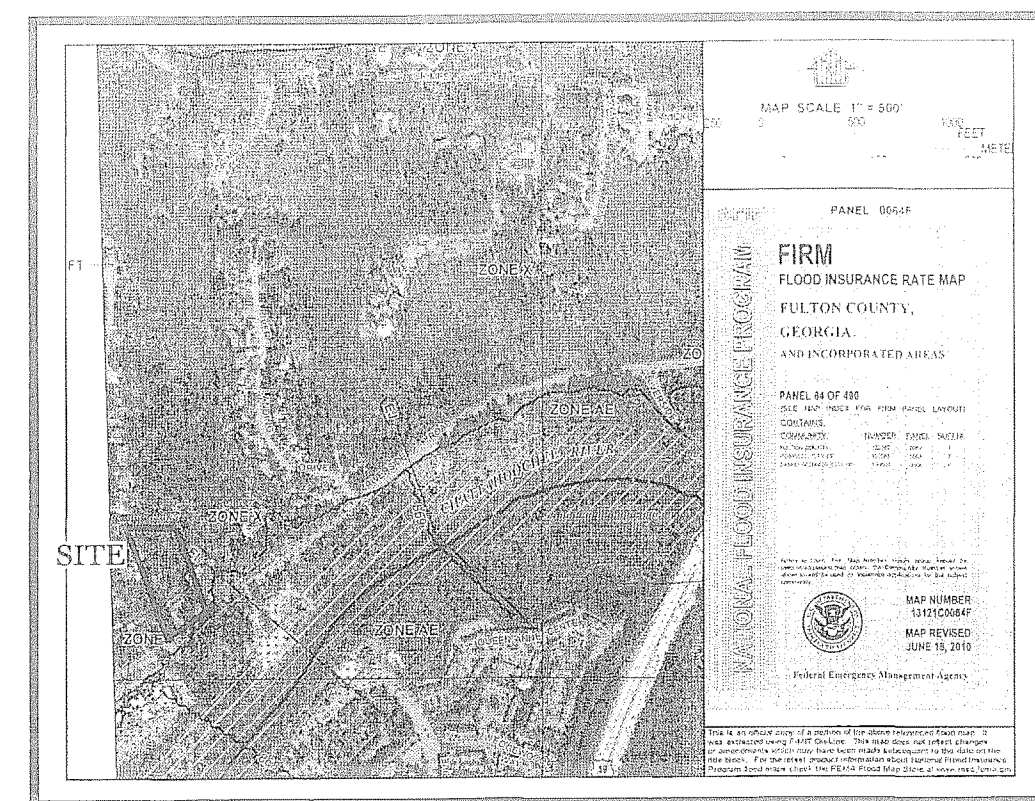
10.09.2012 CITY COMMENTS

DATE: SEPTEMBER 20, 2012 CP&E DRAWING NO: 2012138.10ARC.dwg

ARC/MRPA SITE PLAN

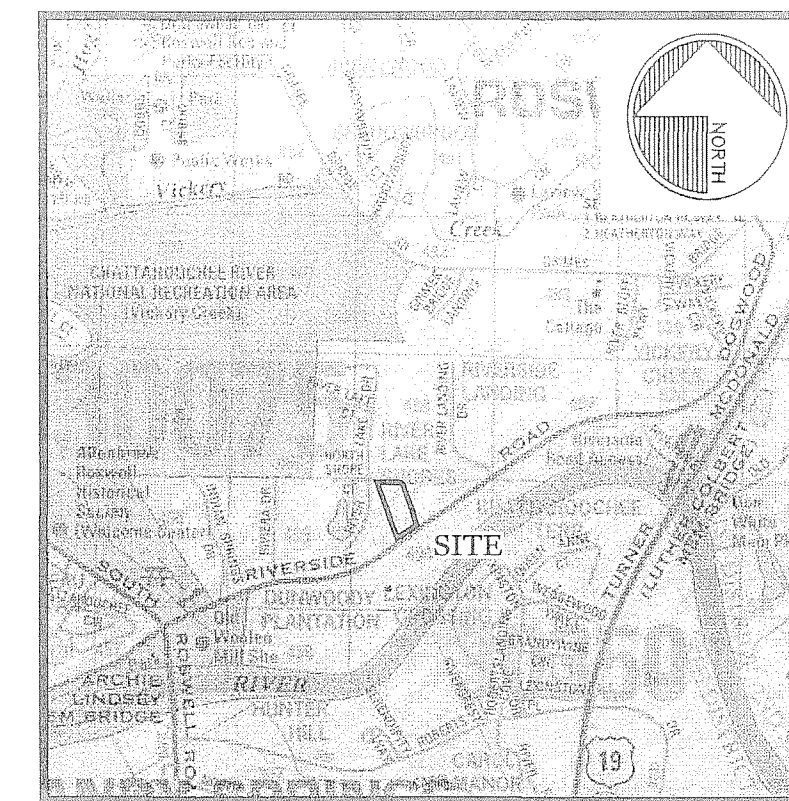
SHEET NO.

1 OF 4



FEMA MAP

SCALE 1"=1,000'



VICINITY MAP

SCALE 1"=2,000'

METROPOLITAN RIVER PROTECTION ACT LAND VULNERABILITY TABLE

VULNERABILITY CATEGORY	TOTAL SQ. FOOTAGE	ALLOWABLE DISTURBED (%)	ALLOWABLE IMPERVIOUS (%)
A	0 S.F.	0 (0%)	0 (0%)
B	0 S.F.	0 (0%)	0 (0%)
C	6,870 S.F.	4,809 S.F. (70%)	3,092 S.F. (45%)
D	66,198 S.F.	33,099 S.F. (50%) + 8,214 S.F. X 1.5 (FROM E) 46,420 S.F.	19,859 S.F. (30%)
E	56,684 S.F.	17,005 S.F. (30%) - 8,214 S.F. TRANSFER TO D 8,791 S.F.	8,503 S.F. (15%)
F	0 S.F.	0 (0%)	0 (0%)
TOTALS	129,752 S.F.	100 (100%)	100 (100%)

METROPOLITAN RIVER PROTECTION ACT PROPOSED DISTURBANCE TABLE

LOT NUMBER	PROPOSED DISTURBED	ALLOWABLE DISTURBED	REMAINING DISTURBED	PROPOSED IMPERVIOUS	ALLOWABLE IMPERVIOUS	REMAINING IMPERVIOUS
11	807	4,809	4,002	23,098	24,641	1,543
12	-	-	-	13,758	13,758	0
13	-	-	-	5,023	5,023	0
ACCESS DRIVE	-	-	-	1,998	1,998	0
TOTALS	807 S.F.	4,809 S.F.	4,002 S.F.	43,877 S.F.	46,420 S.F.	1,543 S.F.

METROPOLITAN RIVER PROTECTION ACT PROPOSED IMPERVIOUS TABLE

LOT NUMBER	PROPOSED IMPERVIOUS	ALLOWABLE IMPERVIOUS	REMAINING IMPERVIOUS	PROPOSED IMPERVIOUS	ALLOWABLE IMPERVIOUS	REMAINING IMPERVIOUS
11	-	-	3,092	5,086	6,994	1,908
12	-	-	-	4,649	5,023	3,577
13	-	-	-	2,720	4,877	2,157
ACCESS DRIVE	-	-	-	1,411	1,411	0
TOTALS	0 S.F.	3,092 S.F.	3,092 S.F.	13,866 S.F.	19,509 S.F.	5,723 S.F.

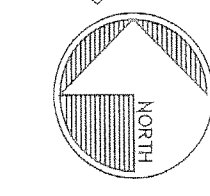
NOTES:

- SURVEY INFORMATION TAKEN FROM BOUNDARY SURVEY BY GUNNIN LAND SURVEYING PROVIDED ON 09.11.2012.
- PROPERTY IS LOCATED IN LAND LOTS 333 & 334, 6TH DISTRICT, FULTON COUNTY, GEORGIA.
- TOTAL SITE AREA: 2.98 ACRES±
EXISTING ZONING: R-1
- PURPOSE OF THESE PLANS ARE TO SHOW THE PROPOSED SUBDIVISION AND BUILD-OUT FOR 3 LOTS/HOMES ON THE SUBJECT PROPERTY AS REQUIRED BY ARC/MRPA RULES & REGULATIONS.
- THIS SITE IS ENTIRELY WITHIN THE 2000' CHATTAHOOCHEE CORRIDOR. LIMITS OF ON-SITE LAND VULNERABILITY AREAS TAKEN FROM MAPS PROVIDED BY ARC.
- LAND VULNERABILITY DELINEATION & CALCULATIONS FOR ADJACENT TAIMEN ON THE RIVER SUBDIVISION TAKEN FROM FINAL PLAT FOR TAIMEN ON THE RIVER BY TRAVIS PRUITT & ASSOCIATES, INC. DATED 05.11.2012.
- THIS PROPERTY IS LOCATED IN A FLOOD HAZARD AREA PER FULTON COUNTY F.I.R.M. PANEL # 13121C0106, DATED JUNE 22, 1998. AS DELINEATED ON THE PLAN, THE EASTERN PORTION OF THE SITE FALLS IN A STUDIED FLOOD HAZARD AREA (ZONE AE). THE REMAINDER OF THE FLOOD HAZARD AREA DELINEATED IS ZONE X (500 YR) AND WILL REQUIRE A STUDY TO DETERMINE THE 100 YR ELEVATIONS/LIMITS. APPROXIMATE 100 YR LIMITS HAS BEEN SHOWN ON THIS PLAN BASED ON SOME PRELIMINARY DATA, BUT A FINAL FLOOD STUDY WILL STILL NEED TO BE DONE PRIOR TO LDP. A CERTIFICATE OF OCCUPANCY HOLD WILL BE PLACED ON THE BUILDING PERMIT UNTIL AN ELEVATION CERTIFICATE IS SUBMITTED CERTIFYING THAT THE LOWEST FLOOR ELEVATION OF THE STRUCTURE IS A MINIMUM OF THREE (3) FEET ABOVE THE SPECIAL FLOOD HAZARD AREA ELEVATION.
- DEVELOPER: ARCHWAY CUSTOM HOMES
227 SANDY SPRINGS PLACE, SUITE D-377
SANDY SPRINGS, GA 30328
24HR CONTACT: MR. TODD RITTMUELLER 770.480.5424
- THE ENTIRE SITE IS HEAVILY WOODED (MAJORITY HARDWOODS), EXCEPT FOR THE EXISTING 1-STORY HOUSE WITH BASEMENT, DILAPIDATED SHED AND ASSOCIATED DRIVE AS SHOWN ON THE PLANS. ALL EXISTING STRUCTURES DRIVEWAY TO BE REMOVED.
- WATER & SEWER IS PROVIDED BY FULTON COUNTY.
- ACCESS TO BE PROVIDED FROM TAIMEN ON THE RIVER SUBDIVISION (GATED COMMUNITY WITH PRIVATE ROADS). ACCESS DRIVE & EASEMENT FROM TAIMEN DRIVE SHOWN ON PLANS.
- ALL UTILITIES SHALL BE UNDERGROUND AND SHALL BE SERVED FROM TAIMEN DRIVE (EXCEPT FOR SANITARY SEWER).
- WATER QUALITY FOR THE PROPOSED IMPERVIOUS AREA TO BE ACCOUNTED FOR WITH VEGETATED CHANNELS, AN ENHANCED SWALE AND OVERLAND FILTRATION. NO DETENTION TO BE PROVIDED BASED UPON PROXIMITY TO FLOODPLAIN OF THE CHATTAHOOCHEE RIVER.

SITE ANALYSIS

OVERALL SITE AREA	2.98 ACRES±
R-1 ZONING CRITERIA	
MAXIMUM DENSITY	2.42 UNITS/AC
DENSITY PROPOSED	3 LOTS (1.01 UNITS/AC)
MINIMUM LOT SIZE	18,000 S.F.
MINIMUM LOT WIDTH	100 FEET
MINIMUM FRONT SETBACK	40 FEET
MIN. MAJOR SIDE SETBACK (RIVERSIDE ROAD)	30 FEET
MINIMUM SIDE SETBACK	10 FEET
MINIMUM REAR SETBACK	35 FEET
MINIMUM HEATED FLOOR AREA PER UNIT	1,500 S.F.
MAXIMUM HEIGHT	35 FEET
MAXIMUM COVERAGE	30%

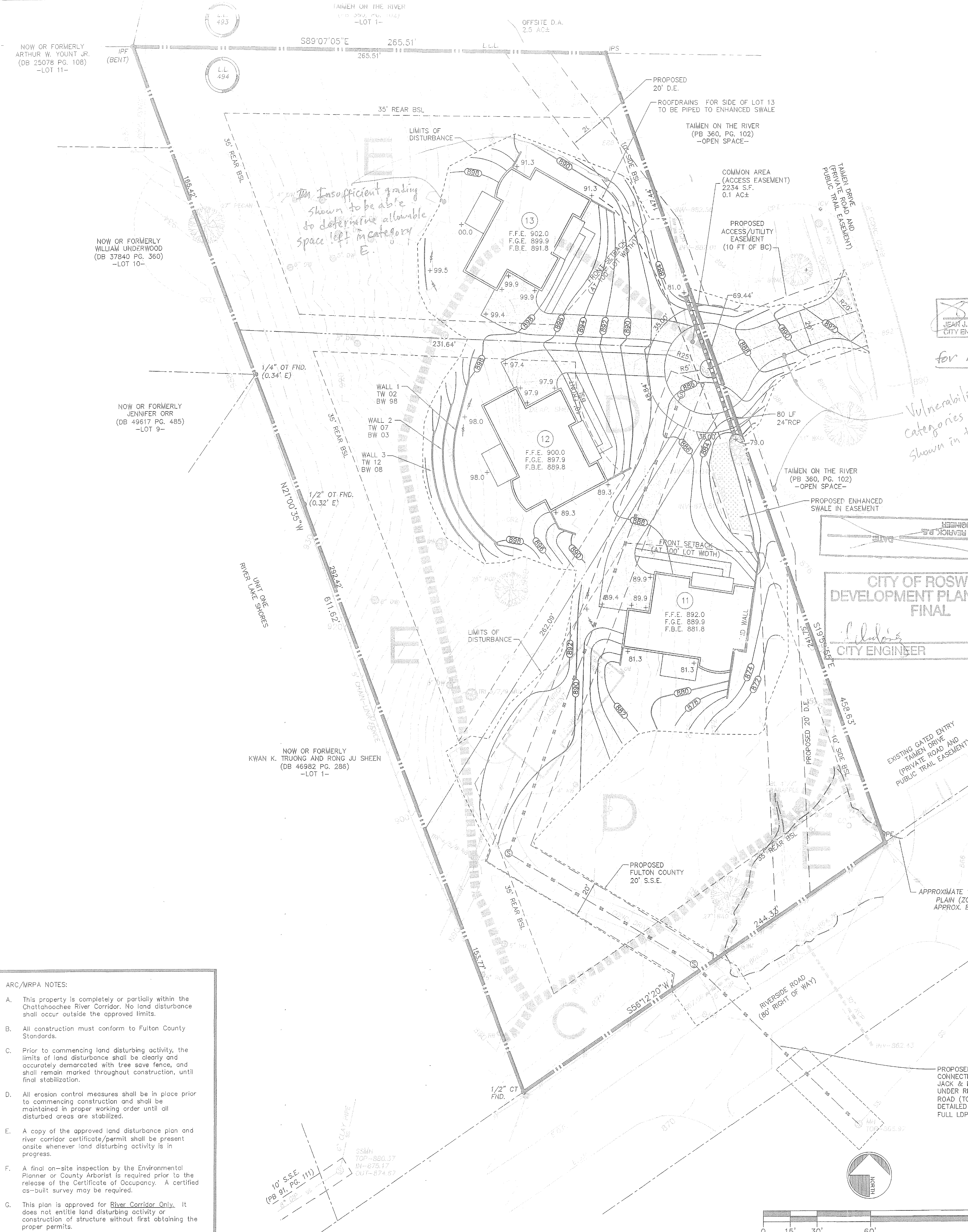
PROPOSED SEWER
CONNECTING VIA
JACK & BORE
UNDER RIVERSIDE
ROAD (TO BE
DETAILED WITH
FULL LDP PLAN)

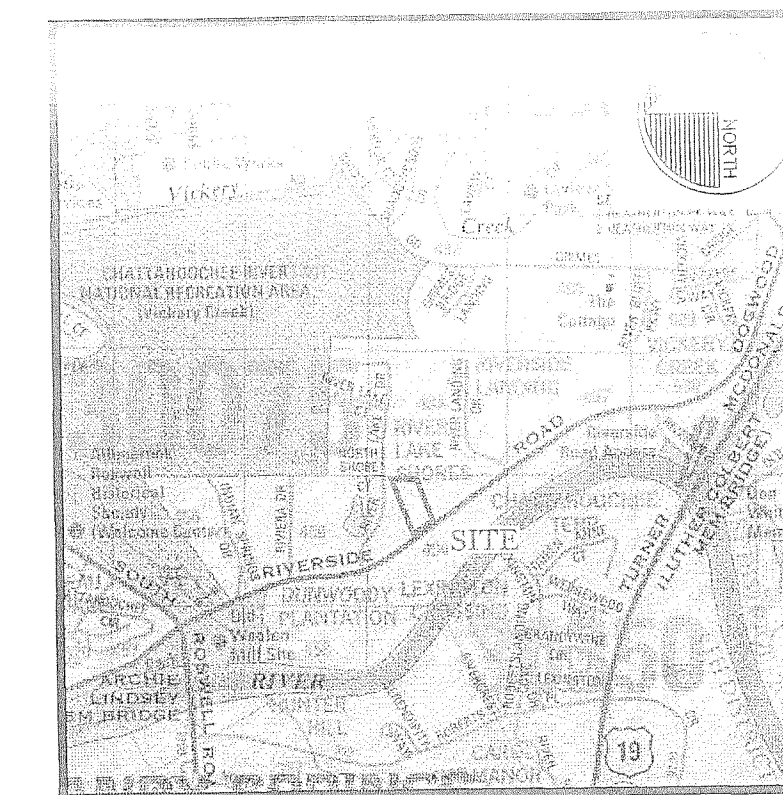
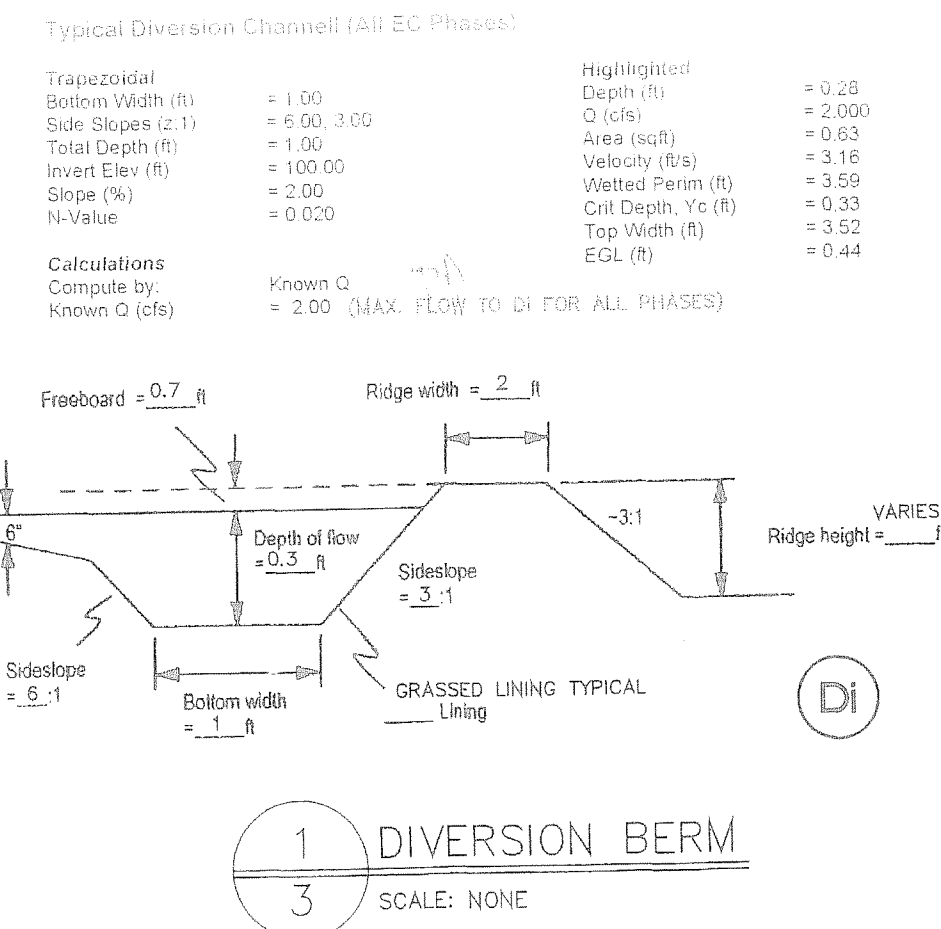


0 15' 30' 60' 120'
SCALE: 1"=30'

ARC/MRPA NOTES:

- This property is completely or partially within the Chattahoochee River Corridor. No land disturbance shall occur outside the approved limits.
- All construction must conform to Fulton County Standards.
- Prior to commencing land disturbing activity, the limits of land disturbance shall be clearly and accurately demarcated with tree save fence, and shall remain marked throughout construction, until final stabilization.
- All erosion control measures shall be in place prior to commencing construction and shall be maintained in proper working order until all disturbed areas are stabilized.
- A copy of the approved land disturbance plan and river corridor certificate/permit shall be present onsite whenever land disturbing activity is in progress.
- A final on-site inspection by the Environmental Planner or County Arborist is required prior to the release of the Certificate of Occupancy. A certified as-built survey may be required.
- This plan is approved for River Corridor Only. It does not entitle land disturbing activity or construction of structure without first obtaining the proper permits.





VICINITY MAP
SCALE 1"=2,000'

PHASED EROSION CONTROL SCHEDULE

PHASE I: CLEARING PHASE

INSTALL CONSTRUCTION ENTRANCE AT TAMEN DR
INSTALL TREE PROTECT FENCING, SILT FENCE FENCING, COTTONWOOD FENCING FOR INSPECTION
START CLEARING & DEMO WORK (EX. HOUSE/DRIVE/ETC.)
D&I AND DS AS NECESSARY

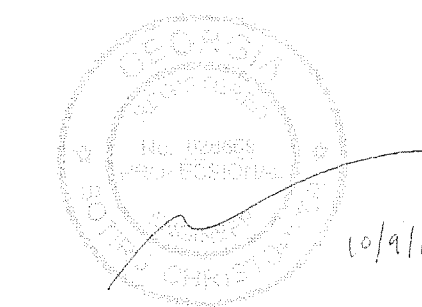
PHASE II: GRADING PHASE

D&I, D&2 AND DS AS NECESSARY
START GRADING OPERATIONS & INSTALL STORM SEWER
AS STORM IS INSTALLED, PROTECT OUTLETS WITH SILT AND W/ S&2

PHASE III: FINAL PHASE

AS GRADING IS COMPLETED, TEMPORARY/PERMANENT GRASS COVER SHALL BE INSTALLED
INSTALL DRAINAGE SEWAGE FROM STORM SYSTEM AND POND/SEDIMENT STORAGE AREAS.
MAINTAIN S&I, S&2 & SR IN PREPARATION OF HOUSE
CONSTRUCTION. EROSION MEASURES ON EACH INDIVIDUAL LOT SHALL BE SHOWN ON SEPARATE PLAN (CONCEPTUAL MEASURES SHOWN ON PHASE III PLAN FOR GRAP APPROVAL ONLY.)

CHRISTOPHER PLANNING
& ENGINEERING



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INTERMEDIATE
STABILIZATION
EROSION CONTROL PLAN

SHEET NO.

3 OF 4

