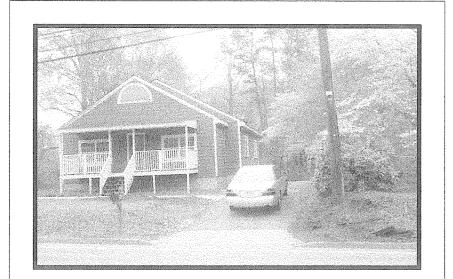


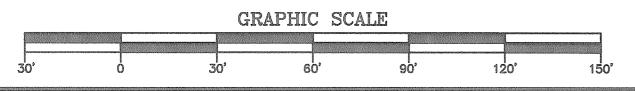
OR IN PART OR AND IS TO BE R

CURRENT ZONING	: R-2
SETBACK	FEET
FRONT (MINOR ST.)	35
SIDE	10
REAR	30



FLOOD HAZARD NOTE:

THIS PROPERTY IS NOT CONTAINED WITHIN THE LIMITS OF A FLOOD HAZARD ZONE AS DEFINED BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY FLOOD INSURANCE RATE MAP OF FULTON COUNTY AND INCORPORATED AREAS (COMMUNITY MAP NO. 13121C 0063F) MOST RECENTLY REVISED JUNE 18, 2010.



SYMBOL LEGEND: = EXISTING ASPHALT = EXISTING GRAVEL DRIVE = EXISTING CONCRETE = GUY WIRE = TREE

R 0

及形式の

1042

1040 -

BUILDING SETBACK NOTE:

NOW or FORMERLY CITY OF ROSWELL ZONED C-1

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00,33,40

(32° (26°± BC

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Q = POWER POLE

W = WATER METER

-s- = SANITARY SEWER LINE

BELLSOUTH MANHOLE

-x-=4 HOG WRE FENCE

-xx-- = 4' CHAIN LINK FENCE

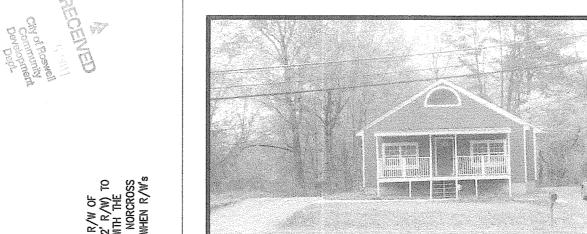
-xxx-- = 5' CHAIN LINK FENCE

T.B.M.

NAIL SET 6 FEET WEST

OF THE BACK OF CURB,

MARKED DAB#4, ELEV. 1044.15 M.S.L.



POINT OF BEGINNING

ONE STORY

BLOCK & FRAME

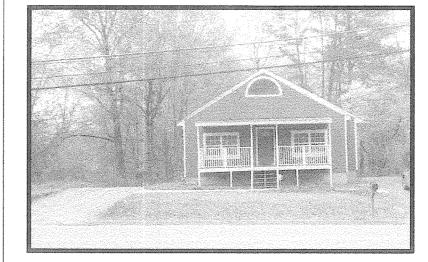
WITH CRAWLSPACE FFE=1048.06

{}}

N 89°00'17"

NOW or FORMERLY

J.K. ALEXANDER ZONED R-2



NOW or FORMERLY

RICKIE DUNCAN

ZONED R-2

S 87°39'00" E 211.66'

10' BL

206.27

 \bigcirc

()

TRACT AREA

20,364.49 S.F. 0.4675 AC.

TAX I.D. NO.:

12-2001-0425-012-2

OWNER/DEVELOPER:

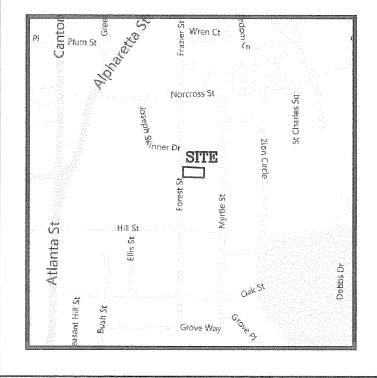
ASSURANCE PROPERTY HOLDINGS 913 FORREST STREET ROSWELL, GA 30075 CONTACT: MR. JOHN WILLIAMS

404-307-3711

IPF 1.5" FLAT BAR

() IPF 1/2" OTP

NOW or WILLIAM ZONE



LOCATION MAP NOT TO SCALE

REFERENCE MATERIAL:

- 1. SURVEY FOR 913 FORREST STREET, PREPARED BY GUDGER SURVEYING, INC., DATED MARCH 23, 2010.
- 2. PROPOSED SITE PLAN FOR NORTHSIDE BANK, PREPARED BY DAVID A. BURRE ENGINEERS & SURVEYORS, INC., DATED AUGUST 26, 1988, MOST RECENTLY REVISED SEPTEMBER 29, 1988.

SURVEYORS NOTES:

MATTERS OR RECORD NOT SHOWN HEREON ARE EXCEPTED.

CERTAIN UNDERGROUND UTILITIES (i.e. WATER, NATURAL GAS, ELECTRICITY, TELEPHONE, ETC.) AND/OR THEIR APPURTENANCES ARE NOT SHOWN HEREON.

ALL PROPERTY CORNERS MARKED IPS (IRON PIN SET) ARE 1/2" REBAR UNLESS OTHERWISE INDICATED.

ALL STRUCTURES/BUILDINGS SHOWN HEREON WERE LOCATED AND MEASURED AT 3.0' OFF THE GROUND, TYPICAL.

PRECISION OF SURVEY:

THE FIELD DATA UPON WHICH THIS PLAT IS BASED HAS A FIELD CLOSURE OF ONE FOOT IN 26,487 FEET AND AN ANGULAR ERROR OF 13.75 SECONDS PER ANGLE POINT AND WAS ADJUSTED USING CRANDALL'S RULE.

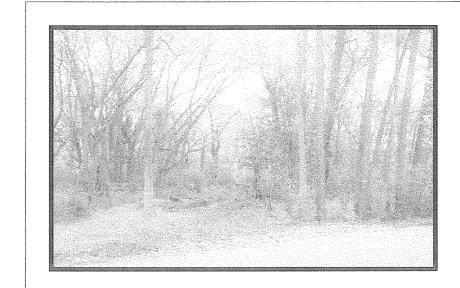
THIS PLAT HAS BEEN CALCULATED FOR CLOSURE AND IS FOUND TO BE ACCURATE WITHIN ONE FOOT IN 55,863

FIELD ANGLES AND LINEAR DISTANCES MEASURED USING A TOPCON GTS-303 TOTAL STATION.

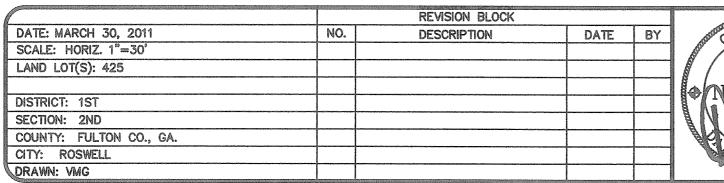
BUILDING SETBACK LINES SHOWN HEREON ARE GOVERNED BY THE CITY OF ROSWELL, GEORGIA, AND ARE SUBJECT TO CHANGE. THE SETBACKS SHOULD BE CONFIRMED IN WRITING WITH THE CITY OF ROSWELL PRIOR TO LAND PLANNING OR ANY CONSTRUCTION ACTIVITIES.

BENCH MARK NOTE:

THE SOURCE OF THE VERTICAL DATUM USED FOR THIS SITE IS FULTON COUNTY G.I.S. MONUMENT F-338. THE MONUMENT IS LOCATED ON THE NORTHWEST SIDE OF GEORGIA HIGHWAY 9, APPROXIMATELY 0.09 MILES SOUTHWEST OF THE INTERSECTION OF GA. HWY. 9 AND WOODSTOCK ROAD. THE PUBLISHED ELEVATION FOR F-338 IS 1081.42 MSL DATUM.



DATE: MARCH 30, 2011 SHEET SCALE: HORIZ. 1"=30" LAND LOT(S): 425 ω DISTRICT: 1ST OF 5009 SECTION: 2ND COUNTY: FULTON CO., GA. CITY: ROSWELL DRAWN: VMG





BOUNDARY, TOPOGRAPHIC, AND TREE SURVEY WITH AS-BUILT IMPROVEMENTS FOR:

ASSURANCE PROPERTY HOLDINGS

913 FORREST STREET

DAVID A. BURRE ENGINEERS & SURVEYORS, INC. 11660 ALPHARETTA HWY. SUITE 100 ROSWELL, GEORGIA 30076 (770)442-0500 Engineering303.com dabesi@aol.com



AID IS NOT TO BE E-PRODUCED ST OF DAVID A. BURES EXERCISE

the drafted is the property of dayid a. horece excensers & sunveyors, hiporelation to othere, or for any other purpose determental to the in

LEGEND:

= BACK OF CURB = BUILDING SETBACK LINE = BURIED CABLE OUTLET

= CATCH BASIN = CLEAN OUT = CENTERLINE

= CONCRETE MONUMENT FOUND

= CRIMP TOP PIN = DRAINAGE ESMT. DYL = DOUBLE YELLOW LINE = EDGE OF PAVEMENT

> = FACE OF CURB = FIRE HYDRANT = GRATE INLET = GUY WIRE = GUY POLE

= HEAD WALL = IRON PIN FOUND = IRON PIN SET = JUNCTION BOX

= LAND LOT LINE = LIGHT POLE = OPEN TOP PIPE = PROPERTY LINE P.O.B. = POINT OF BEGINNING

= POINT OF COMMENCEMENT = POWER POLE = REINFORCING BAR

= RIGHT-OF-WAY = SIDEWALK

= TEMPORARY BENCH MARK

PROPOSED ZONING: O-P SETBACK FEET BUFFER FEET FRONT (MINOR ST.) 0 10 FRONT (MINOR ST.) SIDE YARD * SIDE YARD * 50 40 50 REAR YARD REAR YARD 40

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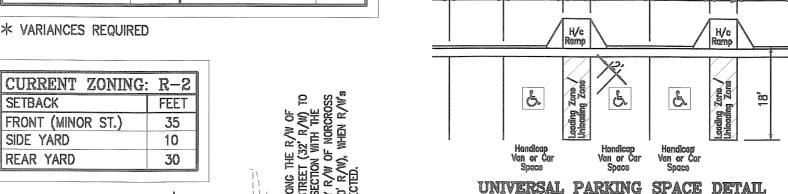
* VARIANCES REQUIRED

NAIL SET 6 FEET WEST

OF THE BACK OF CURB.

MARKED DAB#4, ELEV.

1044.15 M.S.L.



POINT OF BEGINNING

PROPOSED ASPHALT DRIVE

EXISTING

ONE STORY BLOCK & FRAME

WITH CRAWLSPACE

FFE=1048.06

1,220 GSF

- (JZ)

Paint Striping - Handicap Blue

NOW or FORMERLY

RICKIE DUNCAN ZONED R-2

S 87"39'00" E 211.66'

(3)

8' BUFFER

NOW or FORMERLY

J.K. ALEXANDER

ZONED R-2

206.27

N 89°00'17"

10' BUFFER

TRACT AREA 20,364.49 S.F. 0.4675 AC.

TAX I.D. NO.:

12-2001-0425-012-2

PROPOSED USE:

IPF 1/2" OTP @

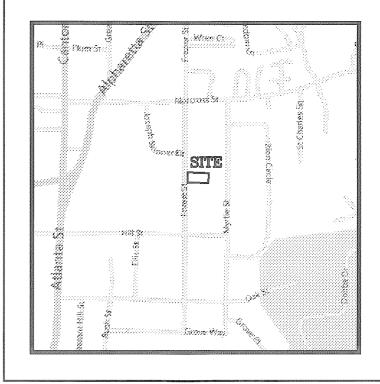
THIS BUILDING WILL BE USED AS A POOL COMPANY OFFICE.

NOW GF WILLIAM ZONE

IPF 1.5" FLAT BAR

() IPF 1/2" OTP

NOW or FORMERLY BALASUBRAMANIAN ZONED R-2



LOCATION MAP NOT TO SCALE

REFERENCE MATERIAL:

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SYMBOL LEGEND:

= EXISTING ASPHALT

• = FIRE HYDRANT

_s__ = SANITARY SEWER LINE

= WATER METER

-x-=4 HOG WIRE FENCE

—xx— = 4° CHAIN LINK FENCE

= EXISTING CONCRETE = HANDICAP PARKING

= GUY WIRE = TREE

LP

Q = POWER POLE

O = BELLSOUTH MANHOLE

= MAIL BOX

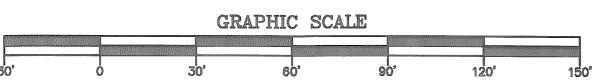
-xxx— = 5° CHAIN LINK FENCE

BUFFER AND BUILDING SETBACK NOTE:

THE BUFFERS AND BUILDING SETBACK LINES SHOWN HEREON ARE GOVERNED BY THE CITY OF ROSWELL, GEORGIA, AND ARE SUBJECT TO CHANGE. THE BUFFERS AND SETBACKS SHOULD BE CONFIRMED IN WRITING WITH THE CITY OF ROSWELL PRIOR TO LAND PLANNING OR ANY CONSTRUCTION ACTIVITIES. THE BUFFERS AND SETBACKS SHOWN HEREON ARE PROPOSED AND REQUIRE VARIANCES TO THE ZONING DISTRICT MINIMAL DIMENSIONAL REQUIREMENTS.

LIGHTING NOTE:

ALL LIGHTING FOR THE ABOVE PROJECT SHALL BE HIGH PRESSURE SODIUM AND SHALL BE INSTALLED TO PREVENT THE ILLUMINATION OF ADJACENT PROPERTIES. LIGHTING PLAN TO BE DESIGNED BY OTHERS PRIOR TO CONSTRUCTION.



DUMPSTER NOTE:

A DUMPSTER WILL NOT BE USED FOR WASTE DISPOSAL. CAN SERVICE WILL BE USED INVOLVING 6 CANS NOT TO EXCEED 200 GALLONS/WEEK.

BENCH MARK NOTE:

THE SOURCE OF THE VERTICAL DATUM USED FOR THIS SITE IS FULTON COUNTY G.I.S. MONUMENT F-338. THE MONUMENT IS LOCATED ON THE NORTHWEST SIDE OF GEORGIA HIGHWAY 9, APPROXIMATELY 0.09 MILES SOUTHWEST OF THE INTERSECTION OF GA. HWY. 9 AND WOODSTOCK ROAD. THE PUBLISHED ELEVATION FOR F-338 IS 1081.42 MSL DATUM.

SURVEYORS NOTES:

OWNER/DEVELOPER:

913 FORREST STREET ROSWELL, GA 30075

ASSURANCE PROPERTY HOLDINGS

CONTACT: MR. JOHN WILLIAMS

404-307-3711

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DEVELOPMENT STATISTICS SUMMARY CHART AREA THIS TRACT: 20,364.49 S.F. 0.4675 ACRES PROPOSED ZONING DISTRICT: O-P cond.

PROP. GROSS S.F. OF BUILDING PROP. LOT COVERAGE OF BUILDING PROP. % LOT COVERAGE OF BLDG.	1,220 S.F. 1,220 S.F. 5.99 %
PROP. HEIGHT OF STRUCTURE MAX. ALLOW. HEIGHT OF STRUCTURES	34 FT. 40 FT.
PROP. PARKING/DRIVE/SIDEWALK AREA PROP. % PARKING/DRIVE/SIDEWALK AREA	5,025 S.F. 24.68 %
PROP. HANDICAPPED SPACES PROP. STANDARD SPACES PROP. TOTAL PARKING SPACES PARKING SPACES/M.S.F. OF BLDG.	1 EA. 3 EA. 4 EA. 3.27/M.S.F.
PROP. LANDSCAPE AREA PROP. % LANDSCAPE AREA	2,220 S.F. 10.90 %
TOTAL IMPERVIOUS SURFACE AREA TOTAL % IMPERVIOUS SURFACE AREA	6,245 S.F. 30.67 %
TOTAL FLOOD PLAIN AREA TOTAL FLOOD PLAIN AREA	0 S.F. 0 %
TOTAL UNDISTURBED/OPEN SPACE TOTAL UNDISTURBED/OPEN SPACE	11,899 S.F. 58.43 %
PROP. DENSITY OF PROJECT	2,609.62 S.F./AC.

SHEET 2 3509 OF

		REVISION BLOCK		
DATE: MARCH 30, 2011	NO.	DESCRIPTION	DATE	BY
SCALE: HORIZ. 1"=30"				
LAND LOT(S): 425				
DISTRICT: 1ST				
SECTION: 2ND				
COUNTY: FULTON CO., GA.				
CITY: ROSWELL				
DRAWN: VMG				



SITE PLAN EXHIBIT FOR:

ASSURANCE PROPERTY HOLDINGS

913 FORREST STREET

DAVID A. BURRE ENGINEERS & SURVEYORS, INC. 11660 ALPHARETTA HWY. SUITE 100 ROSWELL, GEORGIA 30076 (770)442-0500 Engineering303.com dabesi@aol.com

OR IN PART OR USED FOR FUR AND IN TO BE REALTHOUSE

TORS, INC.

AND IS NOT TO BE THE SET OF DAVID A. BURES

necessation to the property of dayid a buner engine as a subsecret, inc. Information to othere, or for any other purpose dependental to the bather

ВС		BACK OF CURB
BL	-	BUILDING SETBACK LINE
BCO	*******	BURIED CABLE OUTLET
CB	-	CATCH BASIN
CO	40000	CLEAN OUT

= CENTERLINE = CONCRETE MONUMENT FOUND = CRIMP TOP PIN

DE = DRAINAGE ESMT. DYL = DOUBLE YELLOW LINE EP = EDGE OF PAVEMENT FC = FACE OF CURB

FH = FIRE HYDRANT = GRATE INLET = GUY WIRE GP = GUY POLE HW

= HEAD WALL = IRON PIN FOUND = IRON PIN SET = JUNCTION BOX = LAND LOT LINE

LP = LIGHT POLE OTP = OPEN TOP PIPE = PROPERTY LINE = POINT OF BEGINNING

= POINT OF COMMENCEMENT = POWER POLE RB = REINFORCING BAR R/W = RIGHT-OF-WAY

S/W = SIDEWALK = TEMPORARY BENCH MARK

LEGEND:

CURRENT ZONING:	R-2
SETBACK	FEET
FRONT (MINOR ST.)	35
SIDE YARD	10
REAR YARD	30

PROPO	SED Z	ONING: O-P	
SETBACK	FEET	BUFFER	FEET
FRONT (MINOR ST.)	10	FRONT (MINOR ST.)	0
SIDE YARD *	50	SIDE YARD *	40
REAR YARD	50	REAR YARD	40

PROPOSED USE:

THIS BUILDING WILL BE USED

AS A POOL COMPANY OFFICE

NOW or FORMERLY RICKIE DUNCAN

ZONED R-2

S 87'39'00" E 211.66

(3)

8' BUFFER

NOW or FORMERLY

J.K. ALEXANDER

206.27

N 89°00'17"

* VARIANCES REQUIRED

TRACT AREA

20,364.49 S.F. 0.4675 AC.

OWNER/DEVELOPER:

TAX I.D. NO .:

 \bigcirc

IPF 1/2" OTP @

ASSURANCE PROPERTY HOLDINGS 913 FORREST STREET ROSWELL, GA 30075

12-2001-0425-012-2

IPF 1.5" FLAT BAR

() IPF 1/2" OTP

LOCATION MAP NOT TO SCALE

SITE

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POINT OF BEGINNING 2 ည္ထ (35, (26°± STREET NAIL SET 6 FEET WEST PROPOSED ASPHALT DRIVE OF THE BACK OF CURB, MARKED DAB#4, ELEV. 1044.15 M.S.L. 0 **EXISTING** 日の 00°33°40 ONE STORY BLOCK & FRAME WITH CRAWLSPACE FORRE FFE=1048.06 1,220 GSF Z 1 1042 IPS &

SYMBOL LEGEND:

= EXISTING ASPHALT = EXISTING CONCRETE

= HANDICAP PARKING • = FIRE HYDRANT

- GUY WRE = TREE

IPF

JB

a = POWER POLE

= SANITARY SEWER MANHOLE

-s- = SANITARY SEWER LINE

O = BELLSOUTH MANHOLE = MAIL BOX = WATER METER

-x-=4' HOG WIRE FENCE —xx = 4° CHAIN LINK FENCE

-xxx-=5° Chain Link Fence

BUFFER AND BUILDING SETBACK NOTE:

DUMPSTER NOTE:

REVISION BLOCK

DESCRIPTION

A DUMPSTER WILL NOT BE USED FOR WASTE DISPOSAL. CAN SERVICE WILL BE USED INVOLVING 6 CANS NOT TO EXCEED 200 GALLONS/WEEK.

BENCH MARK NOTE:

DATE BY

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PROP. DENSITY OF PROJECT

ZONING DISTRICT MINIMAL DIMENSIONAL REQUIREMENTS.

LIGHTING NOTE:

W

500

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SECTION: 2ND

CITY: ROSWELL

DRAWN: VMG

COUNTY: FULTON CO., GA.

THE BUFFERS AND BUILDING SETBACK LINES SHOWN HEREON ARE

GOVERNED BY THE CITY OF ROSWELL, GEORGIA, AND ARE SUBJECT

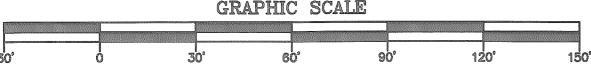
TO CHANGE. THE BUFFERS AND SETBACKS SHOULD BE CONFIRMED

SHOWN HEREON ARE PROPOSED AND REQUIRE VARIANCES TO THE

ANY CONSTRUCTION ACTIVITIES. THE BUFFERS AND SETBACKS

IN WRITING WITH THE CITY OF ROSWELL PRIOR TO LAND PLANNING OR

GRAPHIC SCALE



DATE: MARCH 30, 2011 SHEET SCALE: HORIZ. 1"=30" LAND LOT(S): 425 DISTRICT: 1ST OF



TREE SURVEY WITH PROPOSED SITE IMPROVEMENTS FOR:

ASSURANCE PROPERTY HOLDINGS

913 FORREST STREET

DAVID A. BURRE ENGINEERS & SURVEYORS, INC. 11660 ALPHARETTA HWY. SUITE 100 ROSWELL, GEORGIA 30076 (770)442-0500 Engineering303.com dabesi@aol.com

2,609.62 S.F./AC.