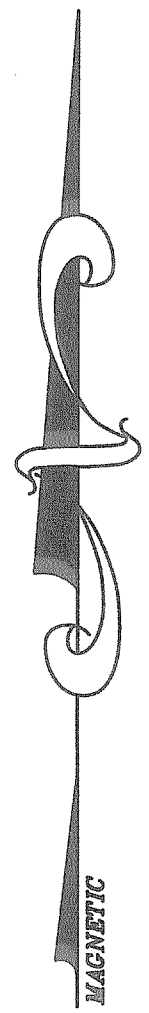


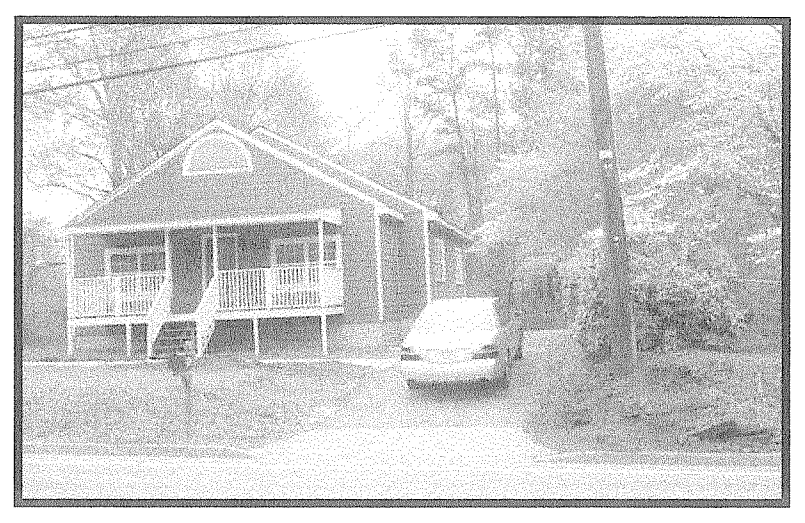
THIS DRAWING IS THE PROPERTY OF DAVID A. BURRE ENGINEERS & SURVEYORS, INC. AND IS NOT TO BE REPRODUCED OR COPIED IN WHOLE OR IN PART OR USED FOR FURNISHING INFORMATION TO OTHERS, OR FOR ANY OTHER PURPOSES WITHOUT THE WRITTEN CONSENT OF DAVID A. BURRE ENGINEERS & SURVEYORS, INC. AND IS TO BE RETURNED UPON REQUEST.



LEGEND:	
BC	= BACK OF CURB
BL	= BUILDING SETBACK LINE
BCO	= BURIED CABLE OUTLET
CB	= CATCH BASIN
CO	= CLEAN OUT
CL	= CENTERLINE
CMF	= CONCRETE MONUMENT FOUND
CTP	= CRIMP TOP PIN
DE	= DRAINAGE ESMT.
DYL	= DOUBLE YELLOW LINE
EP	= EDGE OF PAVEMENT
FC	= FACE OF CURB
FH	= FIRE HYDRANT
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GP	= GUY POLE
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IPF	= IRON PIN FOUND
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JB	= JUNCTION BOX
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PP	= POWER POLE
RB	= REINFORCING BAR
R/W	= RIGHT-OF-WAY
S/W	= SIDEWALK
TBM	= TEMPORARY BENCH MARK

SYMBOL LEGEND:	
	= EXISTING ASPHALT
	= EXISTING GRAVEL DRIVE
	= EXISTING CONCRETE
	= FIRE HYDRANT
	= GUY WIRE
	= TREE
	= POWER POLE
	= SANITARY SEWER MANHOLE
	= SANITARY SEWER LINE
	= BELLSOUTH MANHOLE
	= MAIL BOX
	= WATER METER
	= 4' HOG WIRE FENCE
	= 4' CHAIN LINK FENCE
	= 5' CHAIN LINK FENCE

CURRENT ZONING: R-2	
SETBACK	FEET
FRONT (MINOR ST.)	35
SIDE	10
REAR	30



FLOOD HAZARD NOTE:

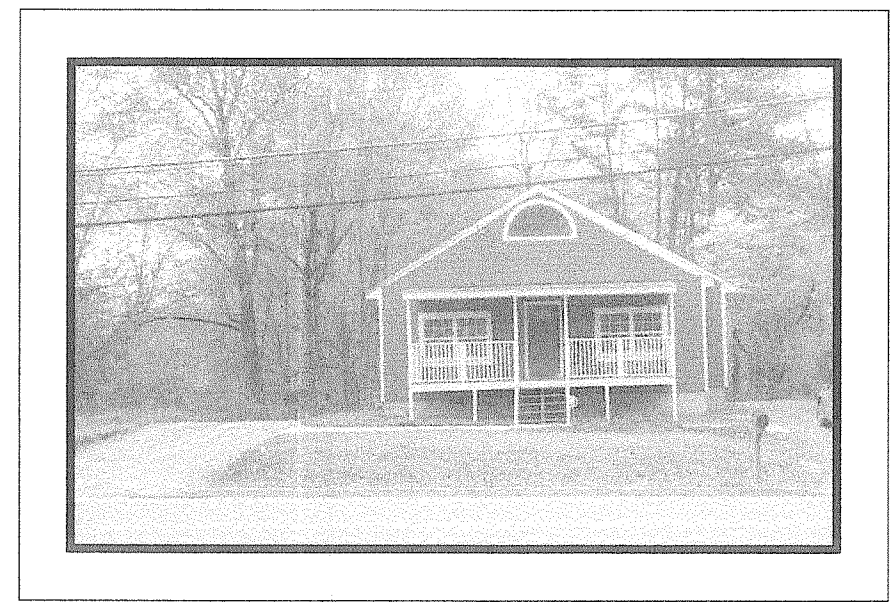
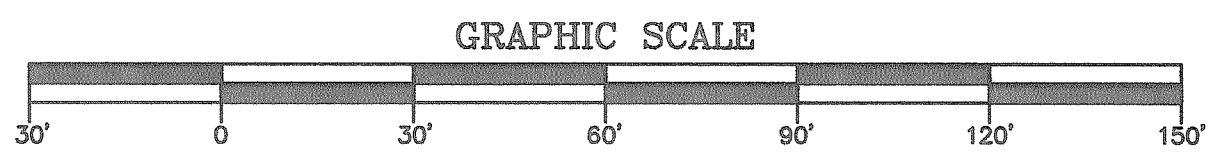
THIS PROPERTY IS NOT CONTAINED WITHIN THE LIMITS OF A FLOOD HAZARD ZONE AS DEFINED BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY FLOOD INSURANCE RATE MAP OF FULTON COUNTY AND INCORPORATED AREAS (COMMUNITY MAP NO. 13121C 0063F) MOST RECENTLY REVISED JUNE 18, 2010.

BUILDING SETBACK NOTE:

BUILDING SETBACK LINES SHOWN HEREON ARE GOVERNED BY THE CITY OF ROSWELL, GEORGIA, AND ARE SUBJECT TO CHANGE. THE SETBACKS SHOULD BE CONFIRMED IN WRITING WITH THE CITY OF ROSWELL PRIOR TO LAND PLANNING OR ANY CONSTRUCTION ACTIVITIES.

BENCH MARK NOTE:

THE SOURCE OF THE VERTICAL DATUM USED FOR THIS SITE IS FULTON COUNTY G.I.S. MONUMENT F-338. THE MONUMENT IS LOCATED ON THE NORTHWEST SIDE OF GEORGIA HIGHWAY 9, APPROXIMATELY 0.09 MILES SOUTHWEST OF THE INTERSECTION OF GA. HWY. 9 AND WOODSTOCK ROAD. THE PUBLISHED ELEVATION FOR F-338 IS 1081.42 MSL DATUM.



TRACT AREA

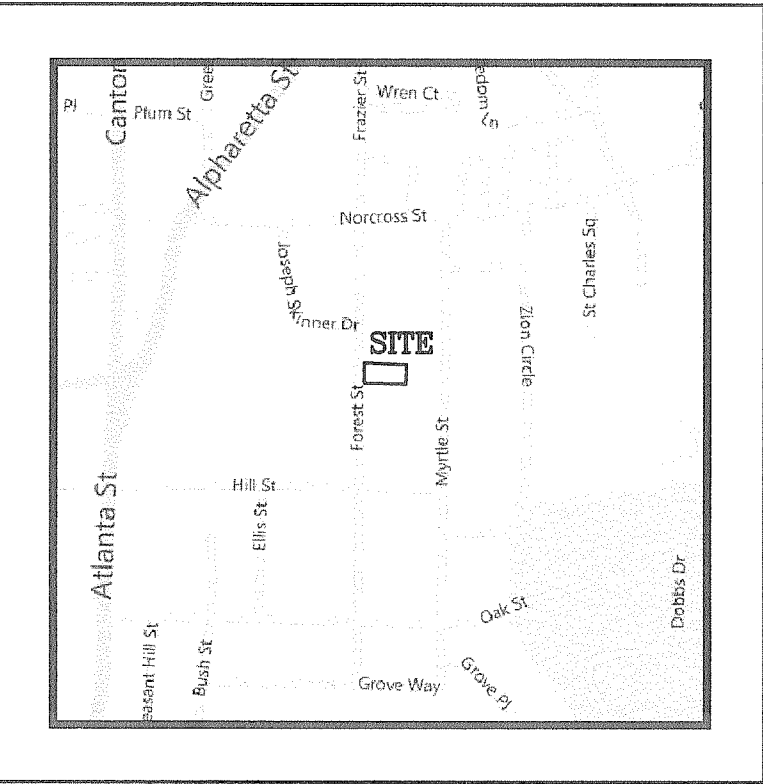
20,364.49 S.F.
0.4675 AC.

TAX I.D. NO.:

12-2001-0425-012-2

OWNER/DEVELOPER:

ASSURANCE PROPERTY HOLDINGS
913 FORREST STREET
ROSWELL, GA 30075
CONTACT: MR. JOHN WILLIAMS
404-307-3711



LOCATION MAP
NOT TO SCALE

REFERENCE MATERIAL:

1. SURVEY FOR 913 FORREST STREET, PREPARED BY GUDGER SURVEYING, INC., DATED MARCH 23, 2010.
2. PROPOSED SITE PLAN FOR NORTHSIDE BANK, PREPARED BY DAVID A. BURRE ENGINEERS & SURVEYORS, INC., DATED AUGUST 26, 1988, MOST RECENTLY REVISED SEPTEMBER 29, 1988.

SURVEYORS NOTES:

MATTERS OR RECORD NOT SHOWN HEREON ARE EXCEPTED.

CERTAIN UNDERGROUND UTILITIES (i.e. WATER, NATURAL GAS, ELECTRICITY, TELEPHONE, ETC.) AND/OR THEIR APPURTENANCES ARE NOT SHOWN HEREON.

ALL PROPERTY CORNERS MARKED IPS (IRON PIN SET) ARE 1/2" REBAR UNLESS OTHERWISE INDICATED.

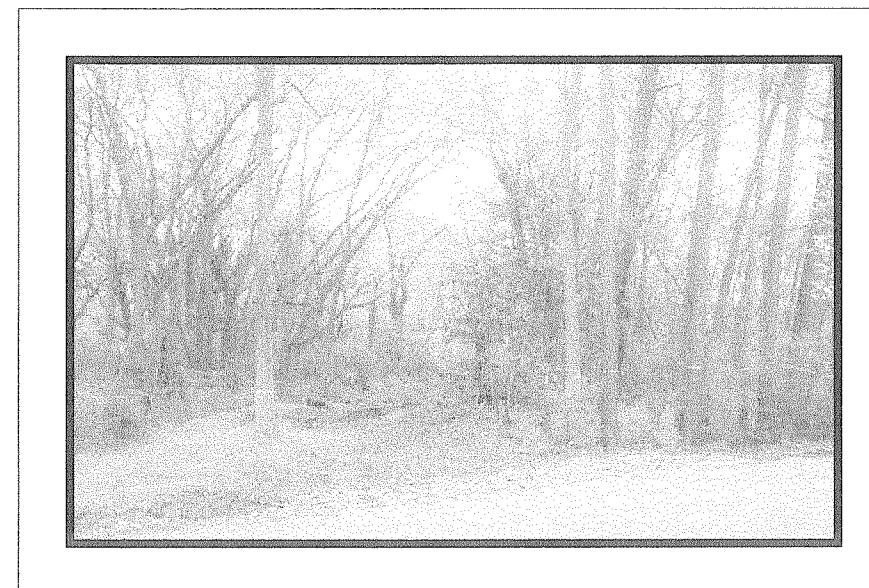
ALL STRUCTURES/BUILDINGS SHOWN HEREON WERE LOCATED AND MEASURED AT 3.0' OFF THE GROUND, TYPICAL.

PRECISION OF SURVEY:

THE FIELD DATA UPON WHICH THIS PLAT IS BASED HAS A FIELD CLOSURE OF ONE FOOT IN 26,487 FEET AND AN ANGULAR ERROR OF 13.75 SECONDS PER ANGLE POINT AND WAS ADJUSTED USING CRANDALL'S RULE.

THIS PLAT HAS BEEN CALCULATED FOR CLOSURE AND IS FOUND TO BE ACCURATE WITHIN ONE FOOT IN 55,863 FEET.

FIELD ANGLES AND LINEAR DISTANCES MEASURED USING A TOPCON GTS-303 TOTAL STATION.



11-3509

SHEET
1
OF
3

DATE: MARCH 30, 2011	NO.	REVISION BLOCK	DESCRIPTION	DATE	BY
SCALE: HORIZ. 1"=30'					
LAND LOT(S): 425					
DISTRICT: 1ST					
SECTION: 2ND					
COUNTY: FULTON CO., GA.					
CITY: ROSWELL					
DRAWN: VMG					

BOUNDARY, TOPOGRAPHIC, AND TREE SURVEY
WITH AS-BUILT IMPROVEMENTS FOR:

ASSURANCE PROPERTY HOLDINGS

913 FORREST STREET

DAVID A. BURRE
ENGINEERS & SURVEYORS, INC.
11660 ALPHARETTA HWY. SUITE 100
ROSWELL, GEORGIA 30076 (770)442-0500
Engineering303.com dabesi@aol.com

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LEGEND:

BC	=	BACK OF CURB
BL	=	BUILDING SETBACK LINE
BCO	=	BURIED CABLE OUTLET
CB	=	CATCH BASIN
CO	=	CLEAN OUT
CL	=	CENTERLINE
CMF	=	CONCRETE MONUMENT FOUND
CTP	=	CRIMP TOP PIN
DE	=	DRAINAGE ESMT.
DYL	=	DOUBLE YELLOW LINE
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PP	=	POWER POLE
RB	=	REINFORCING BAR
R/W	=	RIGHT-OF-WAY
S/W	=	SIDEWALK
TBM	=	TEMPORARY BENCH MARK

SYMBOL LEGEND:

	=	EXISTING ASPHALT
	=	EXISTING CONCRETE
	=	HANDICAP PARKING
	=	FIRE HYDRANT
	=	GUY WIRE
	=	TREE
	=	POWER POLE
	=	SANITARY SEWER MANHOLE
	=	SANITARY SEWER LINE
	=	BELLSOUTH MANHOLE
	=	MAIL BOX
	=	WATER METER
	=	4' HOG WIRE FENCE
	=	4' CHAIN LINK FENCE
	=	5' CHAIN LINK FENCE

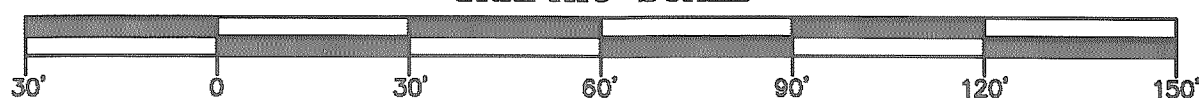
BUFFER AND BUILDING SETBACK NOTE:

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LIGHTING NOTE:

ALL LIGHTING FOR THE ABOVE PROJECT SHALL BE HIGH PRESSURE SODIUM AND SHALL BE INSTALLED TO PREVENT THE ILLUMINATION OF ADJACENT PROPERTIES. LIGHTING PLAN TO BE DESIGNED BY OTHERS PRIOR TO CONSTRUCTION.

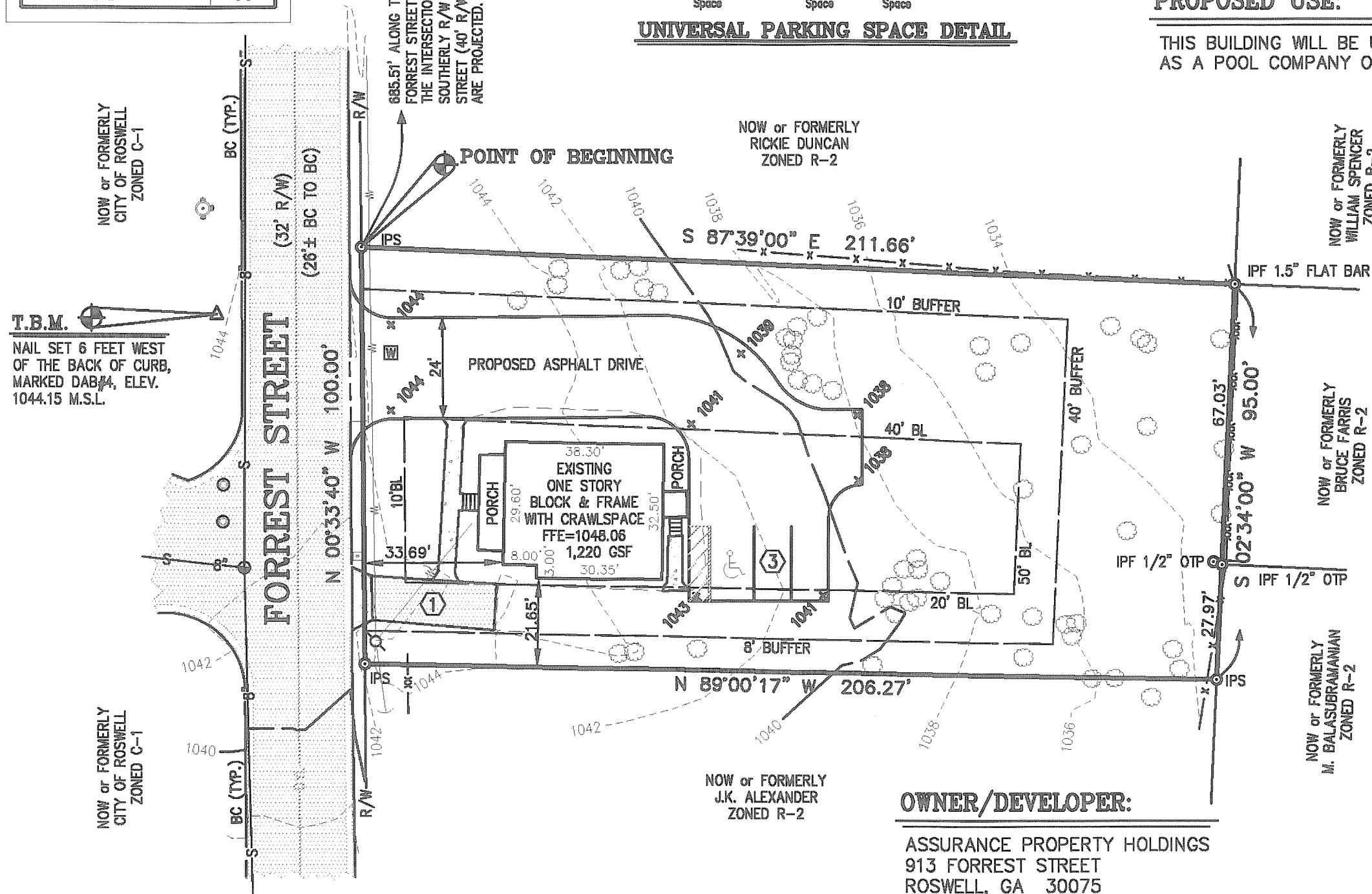
GRAPHIC SCALE



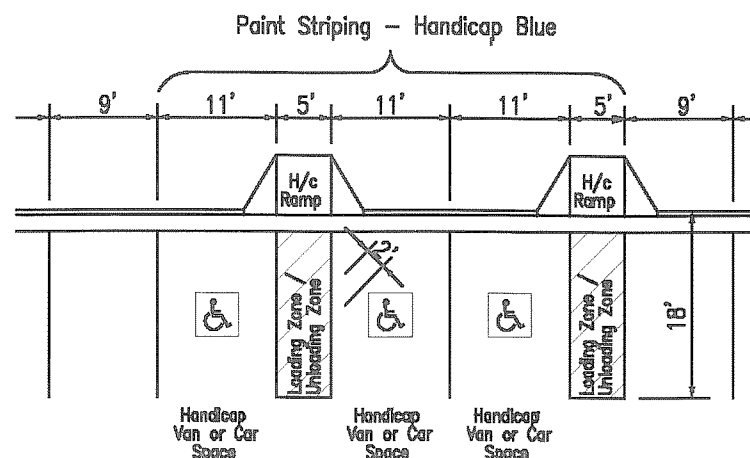
PROPOSED ZONING: O-P			
SETBACK	FEET	BUFFER	FEET
FRONT (MINOR ST.)	10	FRONT (MINOR ST.)	0
SIDE YARD *	50	SIDE YARD *	40
REAR YARD	50	REAR YARD	40

* VARIANCES REQUIRED

CURRENT ZONING: R-2	
SETBACK	FEET
FRONT (MINOR ST.)	35
SIDE YARD	10
REAR YARD	30



UNIVERSAL PARKING SPACE DETAIL



TRACT AREA

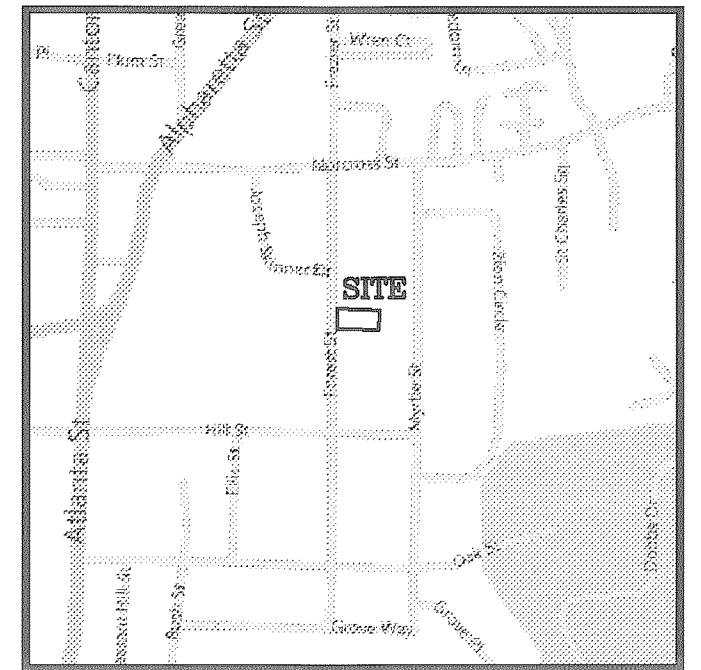
20,364.49 S.F.
0.4675 AC.

TAX I.D. NO.:

12-2001-0425-012-2

PROPOSED USE:

THIS BUILDING WILL BE USED
AS A POOL COMPANY OFFICE.



LOCATION MAP
NOT TO SCALE

REFERENCE MATERIAL:

1. SURVEY FOR 913 FORREST STREET, PREPARED BY GUDGER SURVEYING, INC., DATED MARCH 23, 2010.
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DEVELOPMENT STATISTICS SUMMARY CHART

AREA THIS TRACT: 20,364.49 S.F. 0.4675 ACRES
PROPOSED ZONING DISTRICT: O-P cond.

PROP. GROSS S.F. OF BUILDING	1,220 S.F.
PROP. LOT COVERAGE OF BUILDING	1,220 S.F.
PROP. % LOT COVERAGE OF BLDG.	5.99 %
PROP. HEIGHT OF STRUCTURE	34 FT.
MAX. ALLOW. HEIGHT OF STRUCTURES	40 FT.
PROP. PARKING/DRIVE/SIDEWALK AREA	5,025 S.F.
PROP. % PARKING/DRIVE/SIDEWALK AREA	24.68 %
PROP. HANDICAPPED SPACES	1 EA.
PROP. STANDARD SPACES	3 EA.
PROP. TOTAL PARKING SPACES	4 EA.
PARKING SPACES/M.S.F. OF BLDG.	3.27 /M.S.F.
PROP. LANDSCAPE AREA	2,220 S.F.
PROP. % LANDSCAPE AREA	10.90 %
TOTAL IMPERVIOUS SURFACE AREA	6,245 S.F.
TOTAL % IMPERVIOUS SURFACE AREA	30.67 %
TOTAL FLOOD PLAIN AREA	0 S.F.
TOTAL FLOOD PLAIN AREA	0 %
TOTAL UNDISTURBED/OPEN SPACE	11,899 S.F.
TOTAL UNDISTURBED/OPEN SPACE	58.43 %
PROP. DENSITY OF PROJECT	2,609.62 S.F./AC.

OWNER/DEVELOPER:

ASSURANCE PROPERTY HOLDINGS
913 FORREST STREET
ROSWELL, GA 30075
CONTACT: MR. JOHN WILLIAMS
404-307-3711

SURVEYORS NOTES:

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DUMPSTER NOTE:

A DUMPSTER WILL NOT BE USED FOR
WASTE DISPOSAL. CAN SERVICE WILL
BE USED INVOLVING 6 CANS NOT TO
EXCEED 200 GALLONS/WEEK.

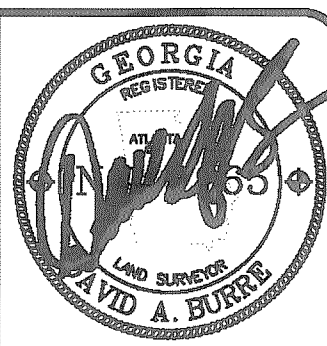
BENCH MARK NOTE:

THE SOURCE OF THE VERTICAL DATUM USED FOR
THIS SITE IS FULTON COUNTY G.I.S. MONUMENT
F-338. THE MONUMENT IS LOCATED ON THE
NORTHWEST SIDE OF GEORGIA HIGHWAY 9,
APPROXIMATELY 0.09 MILES SOUTHWEST OF THE
INTERSECTION OF GA. HWY. 9 AND WOODSTOCK
ROAD. THE PUBLISHED ELEVATION FOR F-338 IS
1081.42 MSL DATUM.

11-3509

SHEET
2
OF
3

REVISION BLOCK			
DATE	NO.	DESCRIPTION	DATE
MARCH 30, 2011			
SCALE: HORIZ. 1"=30'			
LAND LOT(S): 425			
DISTRICT: 1ST			
SECTION: 2ND			
COUNTY: FULTON CO., GA.			
CITY: ROSWELL			
DRAWN: VMG			



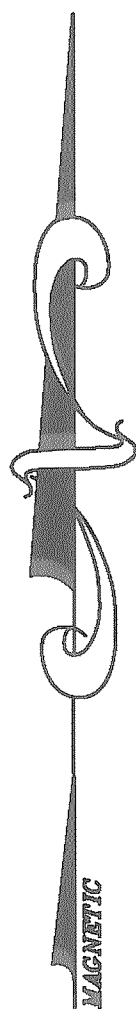
SITE PLAN EXHIBIT
FOR:

ASSURANCE PROPERTY HOLDINGS

913 FORREST STREET

DAVID A. BURRE
ENGINEERS & SURVEYORS, INC.
11660 ALPHARETTA HWY. SUITE 100
ROSWELL, GEORGIA 30076 (770)442-0500
Engineering303.com dabesi@aol.com

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LEGEND:

BC	=	BACK OF CURB
BL	=	BUILDING SETBACK LINE
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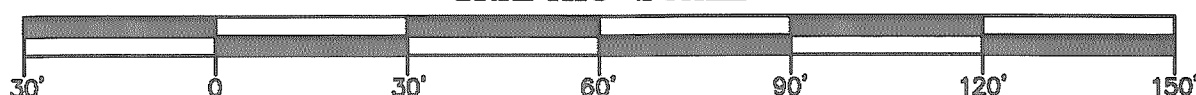
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GRAPHIC SCALE



CURRENT ZONING: R-2	
SETBACK	FEET
FRONT (MINOR ST.)	35
SIDE YARD	10
REAR YARD	30

PROPOSED ZONING: O-P			
SETBACK	FEET	BUFFER	FEET
FRONT (MINOR ST.)	10	FRONT (MINOR ST.)	0
SIDE YARD *	50	SIDE YARD *	40
REAR YARD	50	REAR YARD	40

* VARIANCES REQUIRED

PROPOSED USE:

THIS BUILDING WILL BE USED AS A POOL COMPANY OFFICE.

TRACT AREA

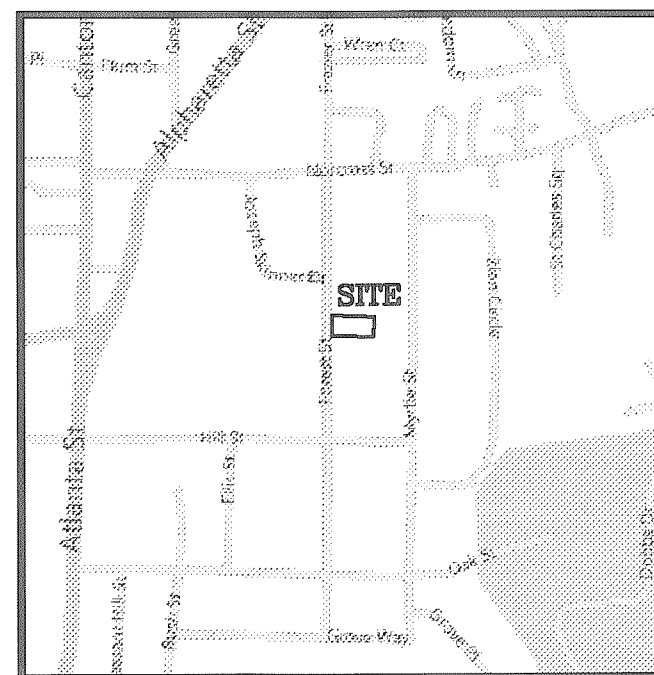
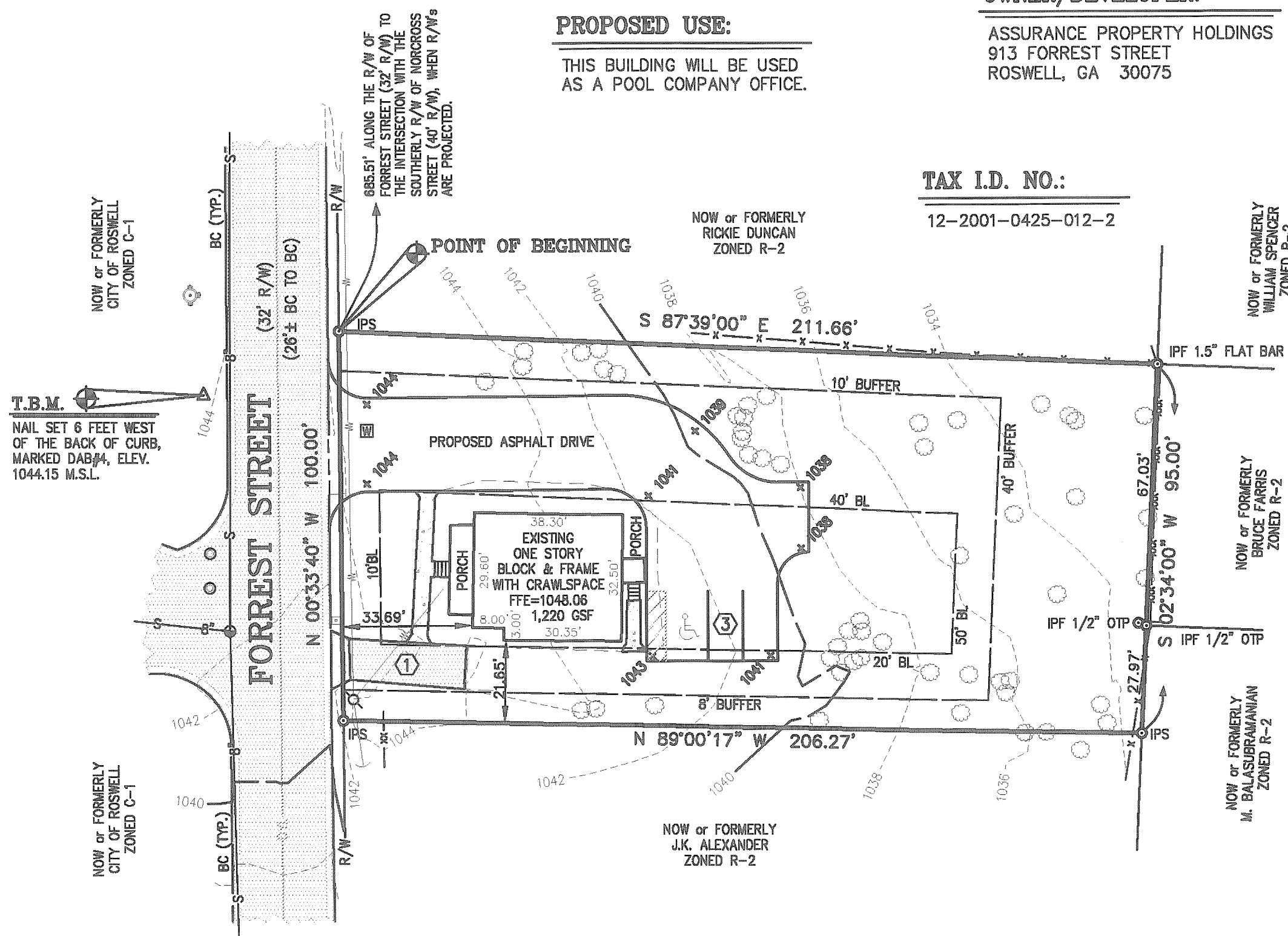
20,364.49 S.F.
0.4675 AC.

OWNER/DEVELOPER:

ASSURANCE PROPERTY HOLDINGS
913 FORREST STREET
ROSWELL, GA 30075

TAX I.D. NO.:

12-2001-0425-012-2



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NOT TO SCALE

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TOTAL UNDISTURBED/OPEN SPACE	11,899 S.F.
TOTAL UNDISTURBED/OPEN SPACE	58.43 %
PROP. DENSITY OF PROJECT	2,609.62 S.F./AC.

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TREE SURVEY WITH PROPOSED SITE IMPROVEMENTS
FOR:

ASSURANCE PROPERTY HOLDINGS

913 FORREST STREET

DAVID A. BURRE
ENGINEERS & SURVEYORS, INC.
11660 ALPHARETTA HWY. SUITE 100
ROSWELL, GEORGIA 30076 (770)442-0500
Engineering303.com dabesi@aol.com

11-3509

SHEET
3
OF
3

REVISION BLOCK				
DATE	NO.	DESCRIPTION	DATE	BY
DATE: MARCH 30, 2011				
SCALE: HORIZ. 1"=30'				
LAND LOT(S): 425				
DISTRICT: 1ST				
SECTION: 2ND				
COUNTY: FULTON CO., GA.				
CITY: ROSWELL				
DRAWN: VMG				

