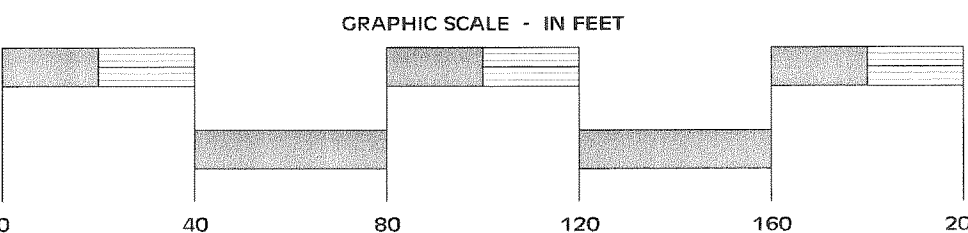


SURVEY NOTES

1. Site Area = Tract I - 1.228 acres, Tract II - 3.244 acres
2. This map or plat has been calculated for closure and is found to be accurate within 1 foot in 379,673 feet.
3. This plat has been prepared using a TOPCON GTS-313 Total Station for angle and distance measurements.
4. The field data upon which this map or plat is based has a closure precision of one (1) foot in 28,773 feet and an average angular error of 0.2 seconds per angle point, and was adjusted using Least Squares.
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Surveyor's Certification

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[Signature]
H. Lanier Dunn, Georgia RLS No. 2243

REGISTERED LAND SURVEYOR
No. 2243
H. LANIER DUNN
Essential Engineering Services, LLC

LEGEND

AE	Access Easement
B.S.L.	Building Setback Line
CTP	Crimped Top Pipe
DE	Drainage Easement
DI	Drop Inlet
EP	Edge of Pavement
FH	Fire Hydrant
GM	Gas Meter
HW	Head Wall
OCS	Outlet Control Structure
O.L.	On Line
OTP	Open Top Pipe
PP	Power Pole
SSE	Sanitary Sewer Easement
TE	Telephone Easement
UE	Utility Easement
OHT	Overhead Telephone Line
UOW	Underground Water Line
UGE	Underground Electric Line
UCTE	Underground Telephone Line
DIP	Ductile Iron Pipe
ICV	Irrigation Control Valve
WM	Water Meter
UG	Underground Gas Line
OV	Gas Valve
WV	Water Valve
LP	Lamp Post
PP	Power Pole w/ Light
PP	Power Pole
///	Limited Access
UCT	Underground Telephone Line
UGE	Underground Electric Line
G	Gas Line
W	Water Line
+	Overhead Power Line
CO	Fence Line
EB	Clean Out
GM	Electric Box
GM	Gas Marker
MH	Sanitary Sewer Manhole
TB	Telephone Box
WM	Water Marker
WM	Water Meter
FES	Flared End Section
JB	Junction Box
OCS	Outlet Control Structure
DWCB	Double Winged Catch Basin
DI	Drop Inlet
HW	Head Wall
FH	Fire Hydrant
IPS	1/2" Rebar Set



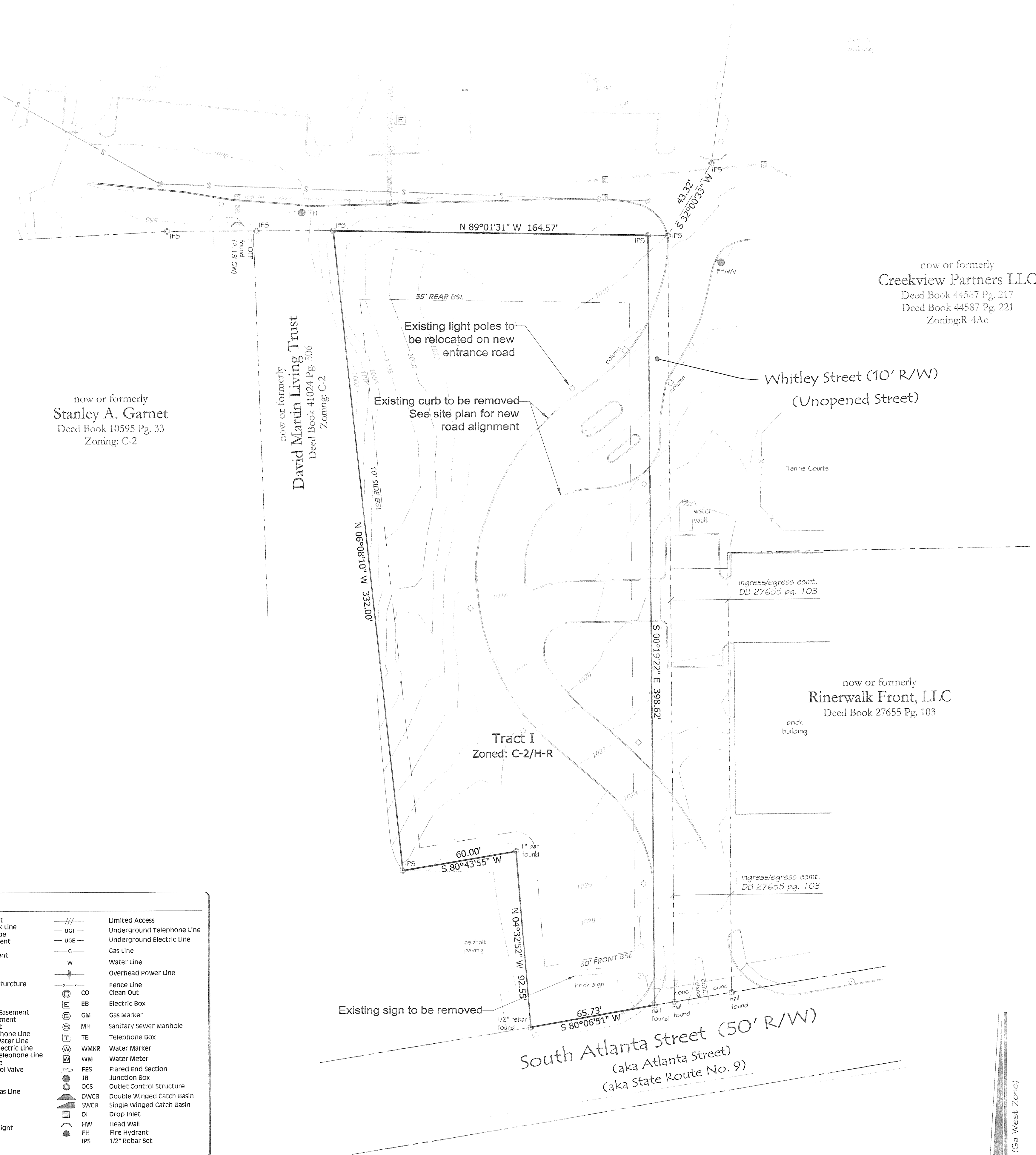
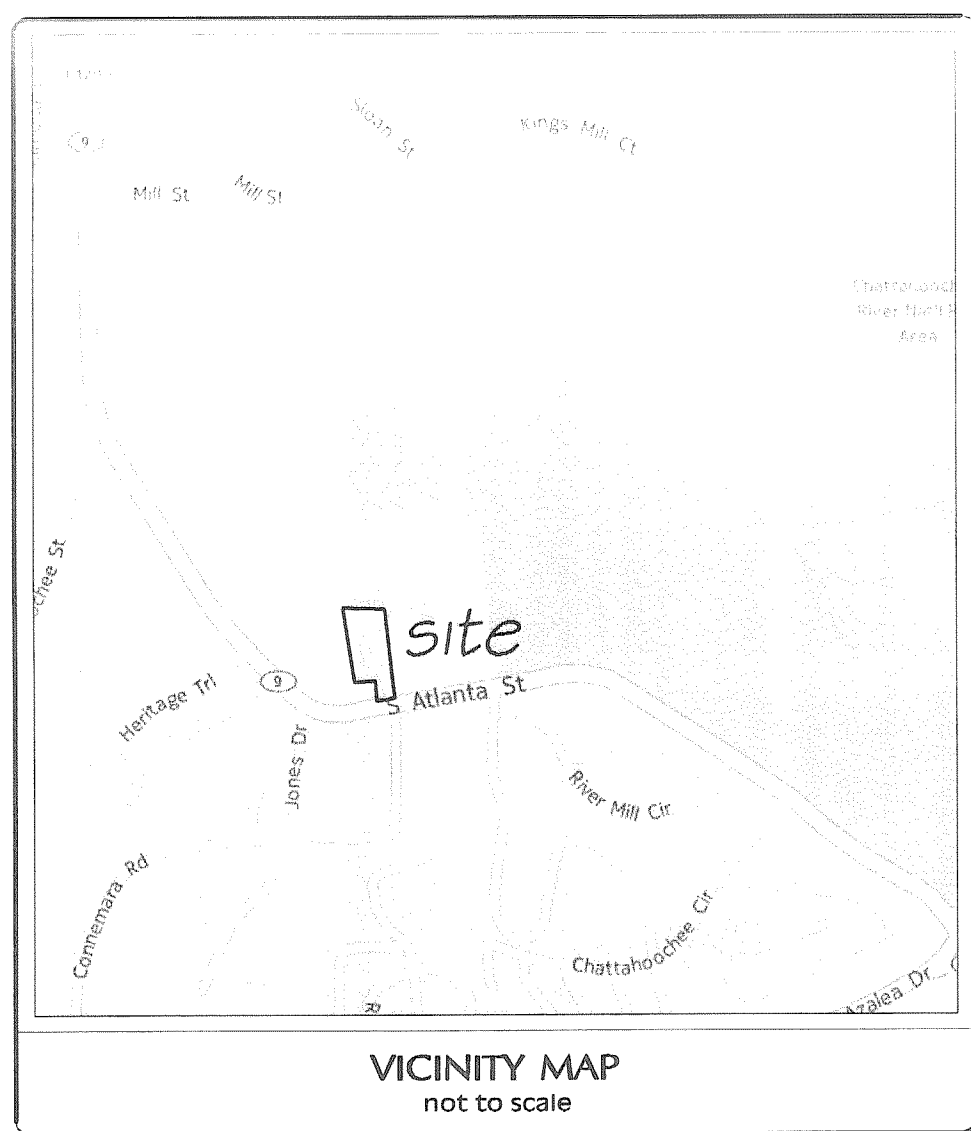
REVISIONS

NO.	DATE	DESCRIPTION	BY
1	5-9-14	add tract line, tract areas	BMD

Boundary & Topographic Survey for:
Creekview Townhomes
City of Roswell
Land Lot 417 - 1st District - 2nd Section
Fulton County, Georgia
Scale: 1" = 40' Date: April 14, 2014

EES
ESSENTIAL ENGINEERING SERVICES
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5400 Laurel Springs Parkway - Suite 1105
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CN: 14019concept08.dwg

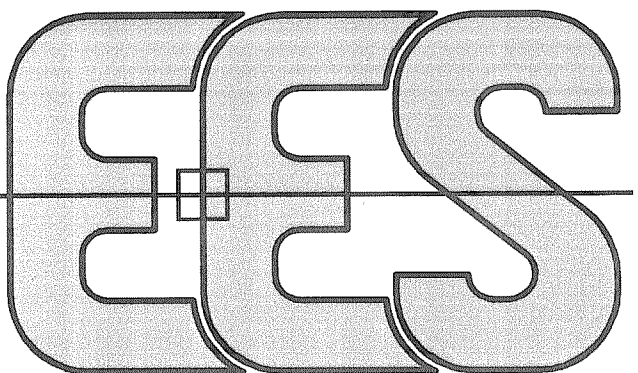


- SITE NOTES**
1. Site area - 1.228 acres
 2. Density:
Commercial - 3,000 sf.
Townhomes - 2
Condominium - 5
Open Space: 23,564 sf (44%)
 3. Existing Zoning - C-2/H-R
 4. Proposed Zoning - NA
 5. Proposed land use : MIX
 6. This property does not lie within a 100 year flood hazard zone as defined by the F.E.M.A. Insurance Rate Map of Fulton County, Georgia, Community Panel Number 13121C0063G, dated September 18, 2013.
 7. Public sanitary sewer service to be provided by Fulton County.
 8. Public water service to be provided by Fulton County.
 9. This site contains no known archeological or historical sites.
 10. The proposed development will be a gated community with private streets.

- SURVEY NOTES**
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OWNER / DEVELOPER

Creek View Partners, LLC

Vinay Bose

3150 Overland Drive,
Roswell, GA 30075

Ph:

24 HOUR - EMERGENCY CONTACT

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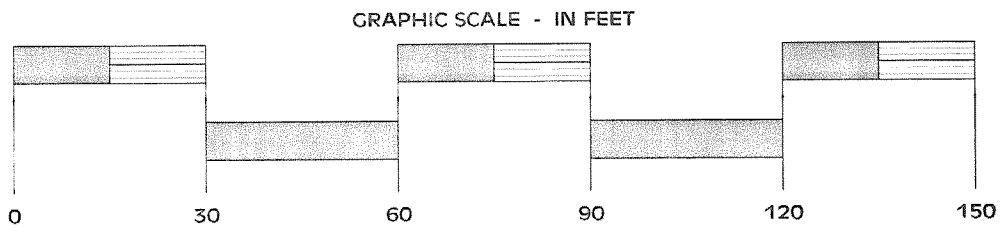
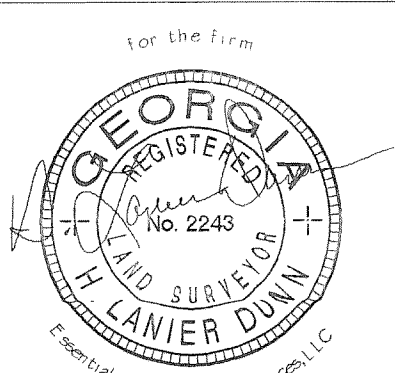
LEGEND

AE	Access Easement	///	Limited Access
B.S.L.	Building Setback Line	UGT	Underground Telephone Line
CTP	Crimped Top Pipe	UGE	Underground Electric Line
DE	Drainage Easement	G	Gas Line
DI	Drop Inlet	W	Water Line
EP	Edge of Pavement	OP	Overhead Power Line
PH	Fire Hydrant	F	Fence Line
GM	Gas Meter	CO	Clean Out
HW	Head Wall	EB	Electric Box
OCS	Outlet Control Structure	GM	Gas Marker
OL	On Line	MH	Sanitary Sewer Manhole
OT	Open Top Pipe	TB	Telephone Box
PP	Power Pole	WM	Water Marker
SSE	Sanitary Sewer Easement	WM	Water Meter
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UGE	Underground Electric Line	DWCB	Double Winged Catch Basin
UGT	Underground Telephone Line	SWCB	Single Winged Catch Basin
DIP	Ductile Iron Pipe	DI	Drop Inlet
ICV	Irrigation Control Valve	HW	Head Wall
WV	Water Valve	PH	Fire Hydrant
WM	Water Meter	IPS	1/2" Rebar Set
UGO	Underground Gas Line		
CV	Gas Valve		
WV	Water Valve		
LP	Lamp Post		
PP	Power Pole w/ Light		
PP	Power Pole		

Surveyor's Certification

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H. Lanier Dunn, Georgia RLS No. 2243



Site Analysis

Creekview Mixed Use Plan

Land Lot 417

1st District - 2nd Section

City of Roswell

Fulton County

Georgia

May 30, 2014

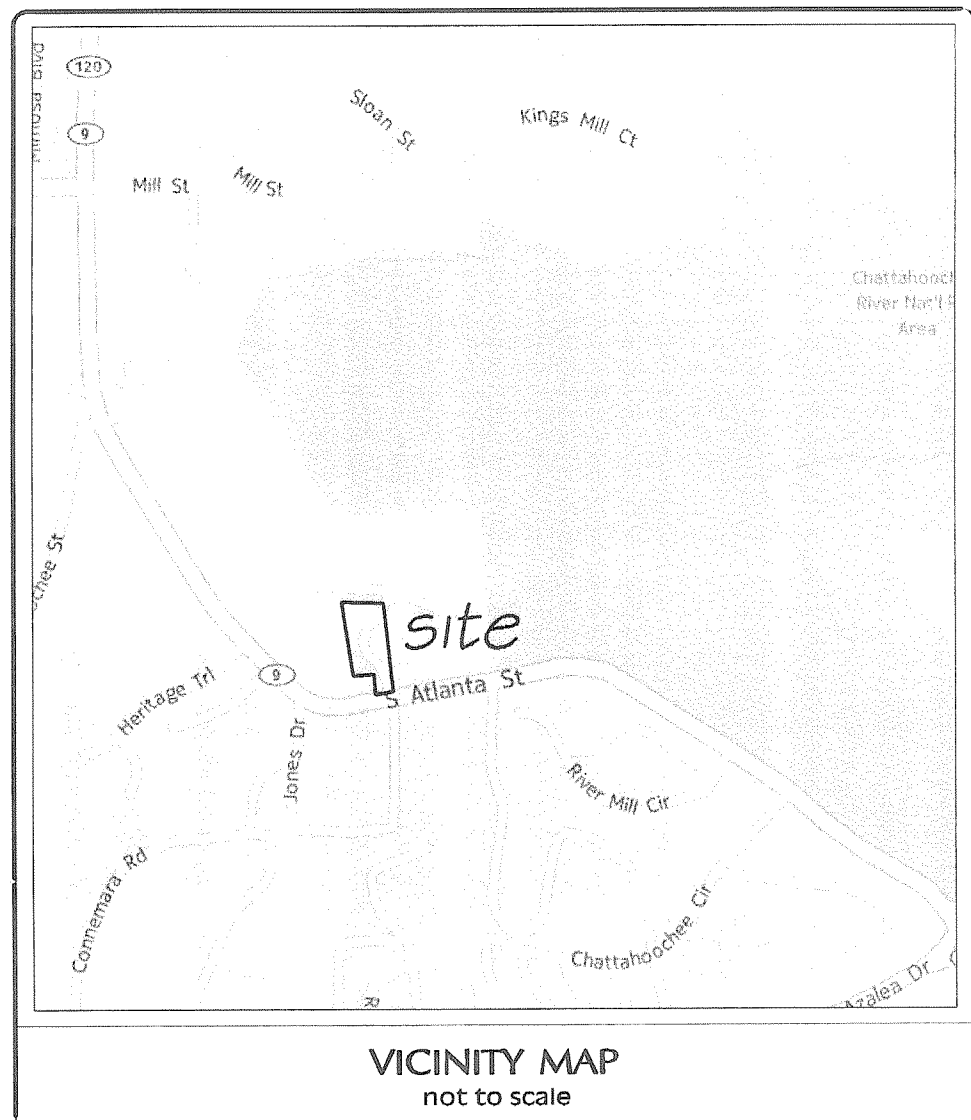
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? County Project Number ?

CN: 14019concept08.dwg

Job Alias:

Sheet 2 of 4

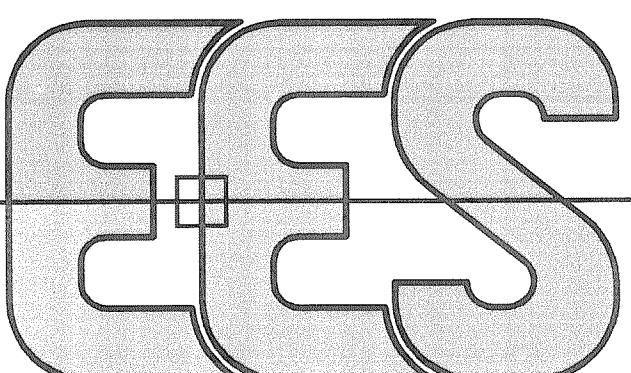


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STORMWATER MANAGEMENT NOTES
1. Water quality to be obtained by utilizing underground infiltration chambers below proposed drive aisles.
2. Alternate compliance for detention requirement to be achieved by the analysis of the downstream flow characteristics of the receiving waters.
3. Alternate compliance for Channel Protection to be achieved upon analysis of the downstream conveyance ability to handle the undetained flow from the site.



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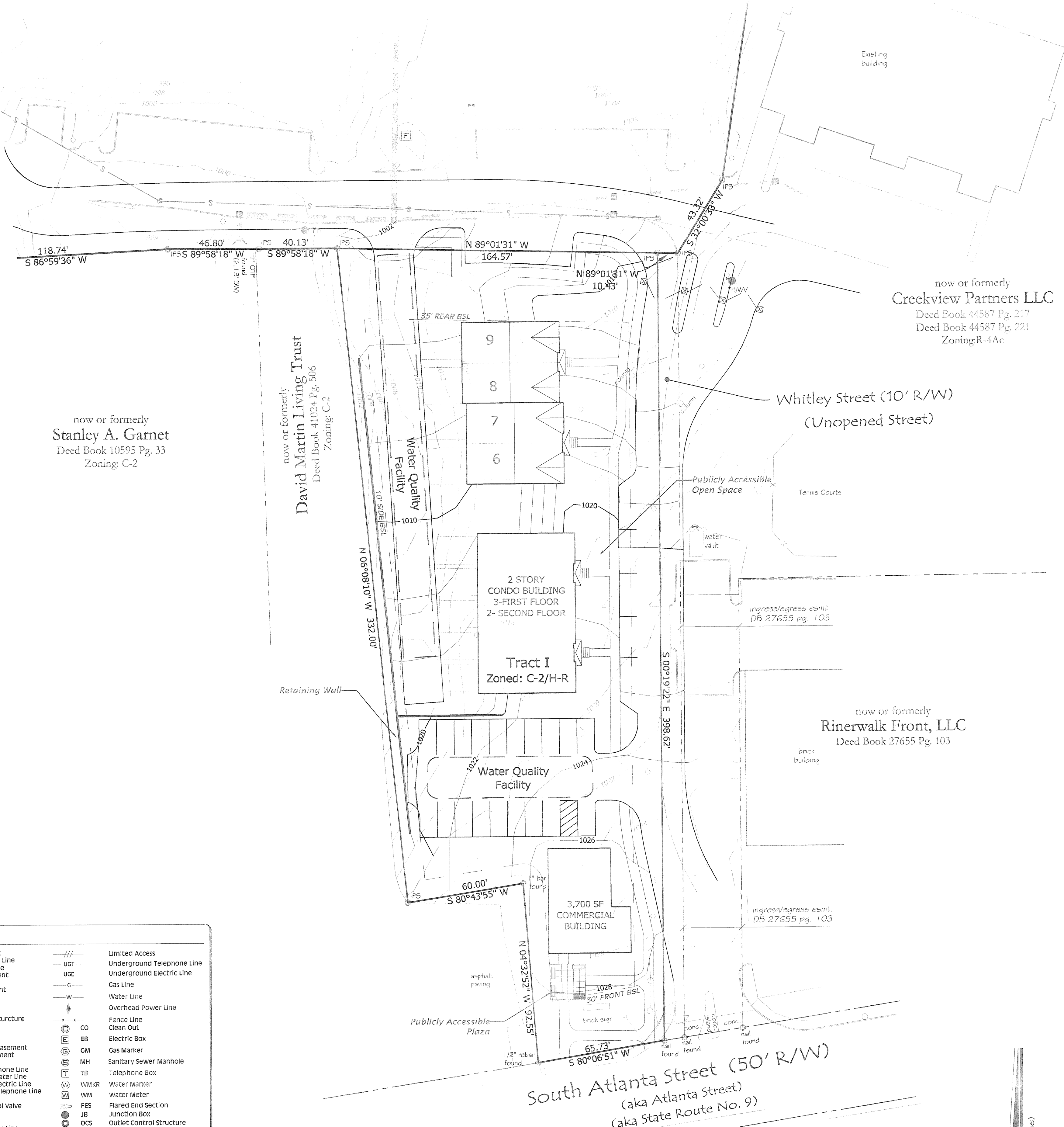
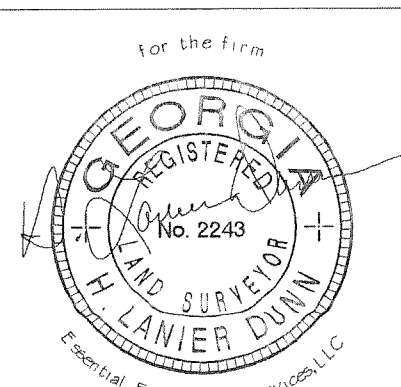
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W	Water Valve		
LP	Lamp Post		
Power Pole w/ Light			
Power Pole			

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H. Lanier Dunn, Georgia RLS No. 2243



SITE NOTES

1. Site area - 1.228 acres
2. Density:
Commercial - 3,000 sf.
Townhomes - 4
Condominium - 5
Open Space: 23,564 sf (44%)
3. Existing Zoning - C-2/H-R
4. Proposed Zoning - NA
5. Proposed land use : MIX
6. This property does not lie within a 100 year flood hazard zone as defined by the F.E.M.A. Insurance Rate Map of Fulton County, Georgia, Community Panel Number 13121C0063G, dated September 18, 2013.
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8. Public water service to be provided by Fulton County.
9. This site contains no known archeological or historical sites.

DEVELOPMENT STATISTICS SUMMARY CHART

SITE DATA	REQUIRED	PROPOSED
Total Area of Site = 1.228 Acres		
Height of Proposed Building	45' Maximum	45'
Gross sq. footage of Commercial buildings	3,000 - 52,272 sf per acre	3,700 sf.
Gross sq. footage of Townhomes	10,000 - 52,272 sf per acre (1,200 sf Minimum)	(2,400 sf.) x 4 = 9,600 sf
Gross sq. footage of Condominiums		(1,200 sf.) x 5 = 6,000 sf
Landscaping Area		11,625 sf. planting areas
Public Open Space		7,275 sf. Public Space
Impervious Surface		29,917 sf.(56%)
Residential Parking	2 space per unit = 18 Min.	18 Spaces
Commercial Parking	1 per 125 sf Commercial = 24 Min.	24 Spaces
Undeveloped and Open Space		23,564 sf.(44%)
Conditional Use Change	Current Zoning - C-2/H-R	Mix
Setbacks	Front Setback = 30' from Major Street ROW Side Setback = 15' from Minor Street ROW Side Setback = 10' Rear Setback = 35'	

Site Plan

**Creekview
Mixed Use
Plan**

Land Lot 417

1st District - 2nd Section

City of Roswell

Fulton County

Georgia

May 30, 2014

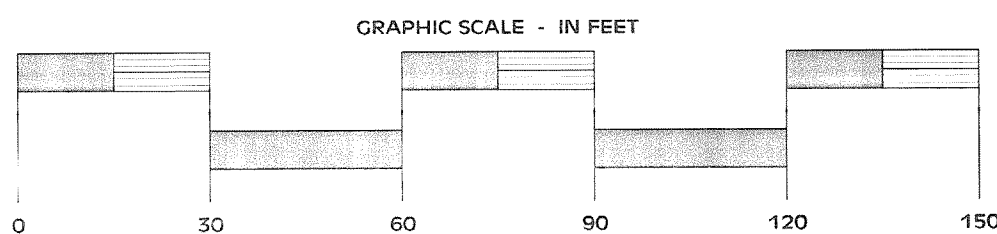
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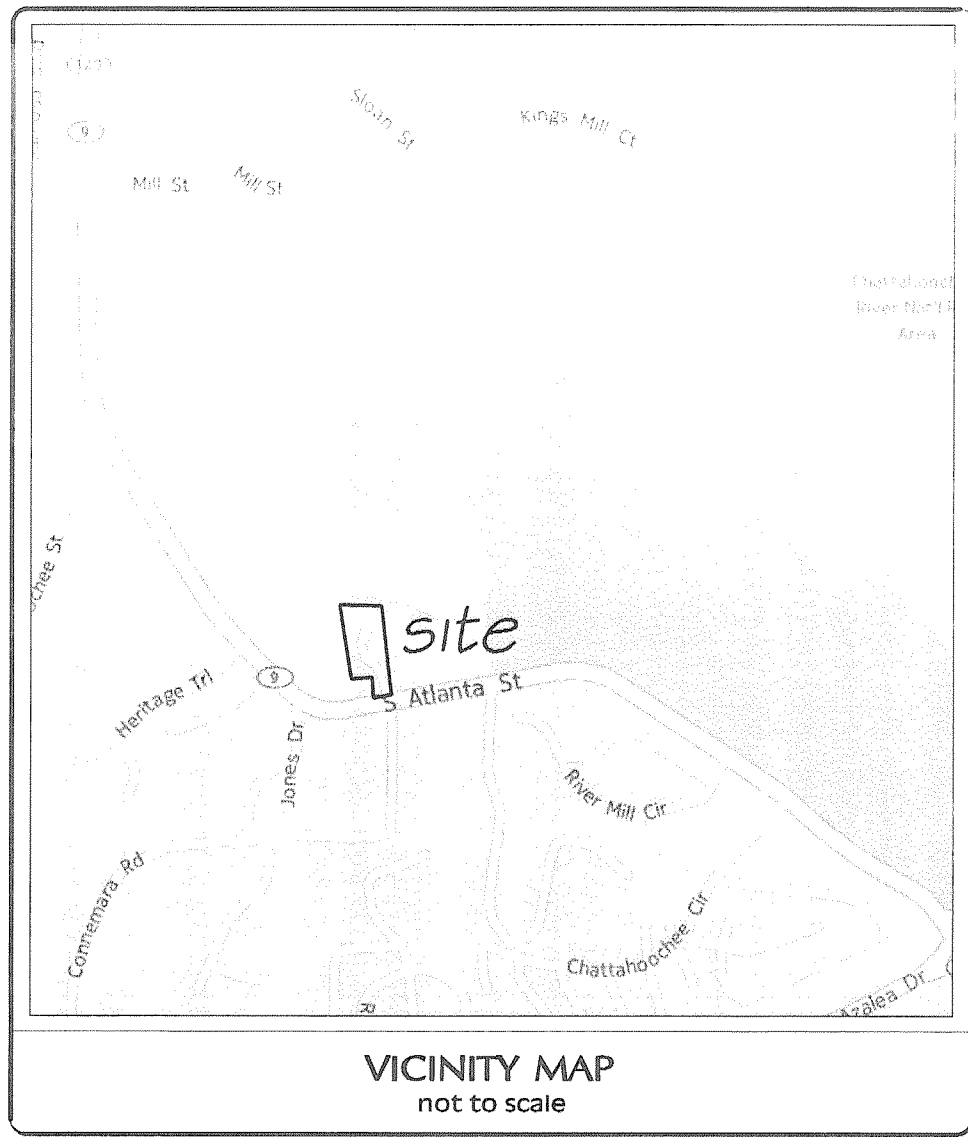
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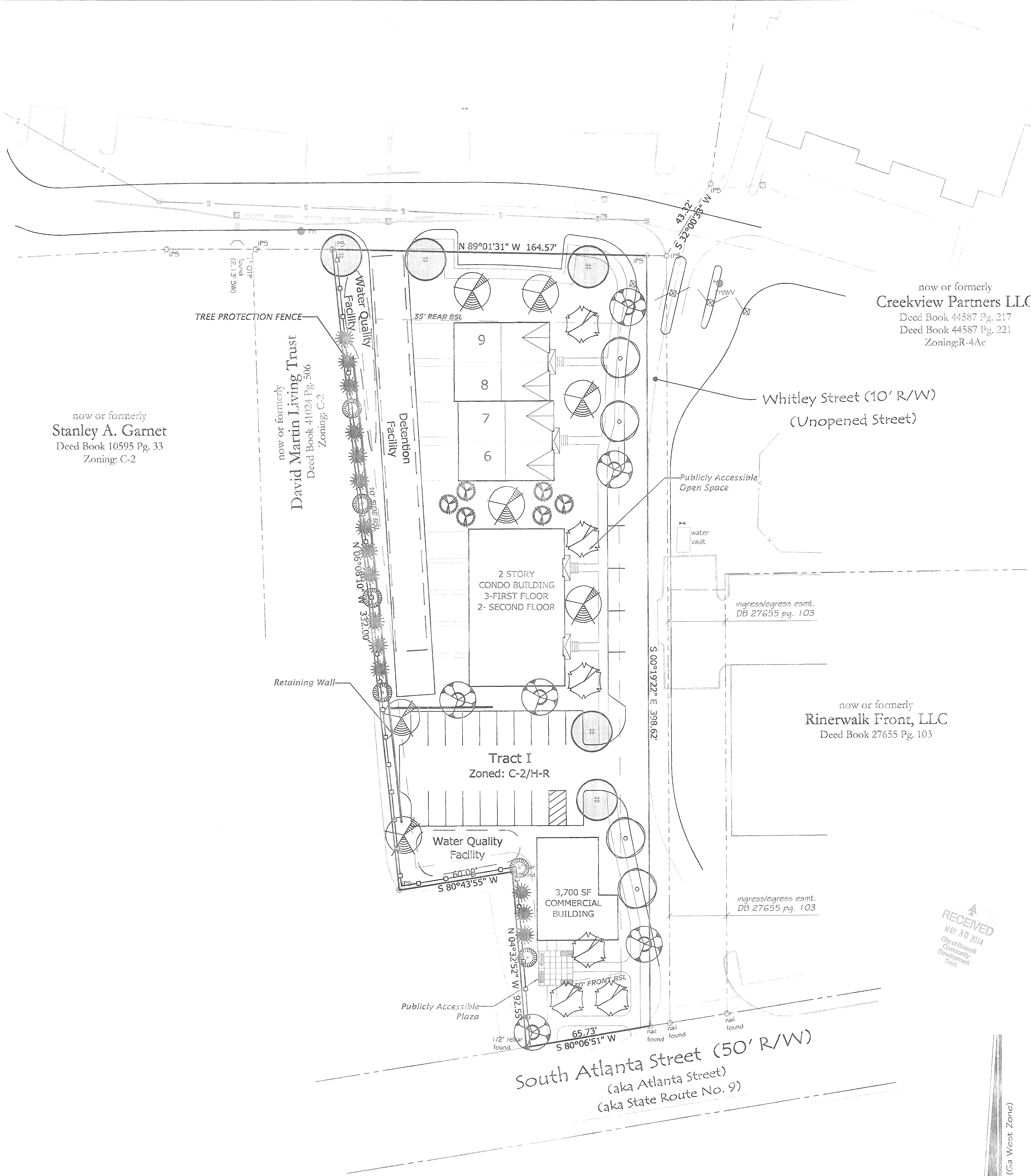
Job Alias:

Sheet 3 of 4





VICINITY MAP
not to scale



now or formerly
Stanley A. Garnet
Deed Book 10595 Pg. 33
Zoning: C-2

now or formerly
David Martin Living Trust
Deed Book 41024 Pg. 506
Zoning: C-2

now or formerly
Creekview Partners LLC
Deed Book 44587 Pg. 217
Deed Book 44587 Pg. 221
Zoning: R-4Ac

now or formerly
Rinerwalk Front, LLC
Deed Book 27655 Pg. 103

Tree Density Calculation

SITE DENSITY FACTOR(SDF) = 30 x Site Area
SDF = (1.228 acres x 30) = 36.8 TDU
55 Proposed trees will be planted to meet tree density.

SPECIMEN TREE

There are no significant trees on the site.

NOTES

Section 15.25 The Arborist shall make unscheduled inspections before and during development to ensure protection of trees, critical root zones and buffer zones.
Section 15.2.6 (A) No person in the construction of any structure(s) or improvement(s) or any activity shall encroach or place solvents, material, construction machinery or temporary soil deposits within six (6) feet of the area outside the drip line, as defined herein, of any specimen tree or any tree within a tree protection zone.
Section 16.2.6 (B) Before development, land clearing, filling or any land alteration, the developer shall be required to erect suitable protective barriers as required by the Arborist, including tree fences, tree protection signs, and erosion barriers until completion of site landscaping. Authorization to remove the protective devices shall be in writing by the Arborist or by the issuance of a final Certificate of Occupancy. Inspection of tree protection barriers is required prior to any land disturbance or development. The Arborist shall be contracted to schedule an inspection time.
Section 15.2.6 (C) Materials for active tree protection shall consist chain link, orange laminated plastic, wooden post and rail fencing or other equivalent restraining material in addition to fencing, where active tree protection is required, each tree to be saved shall be marked at the base of the trunk with blue colored water-based paint.
Section 15.2.6 (D) Materials for passive tree protection shall consist of heavy mil, plastic flagging, a minimum of 4" (four inches) wide with dark letters reading "Tree Protection area Do Not Enter" or equivalent signage on a continuous durable restraint.
Section 15.8.5 Any person, firm or corporation violating any provisions of this article shall be punished as described in Section 14 of the Code of the City of Roswell, and in addition thereto may be enjoined from continuing the violation. Each tree cut, damaged or poisoned shall constitute a separate offense. All trees shall be straight trunked, full headed and meet all requirements specified. All trees and shrubs must be container grown balled and burlapped with sizes as indicated on the plant list or on the drawings. All plants shall be healthy, vigorous, free of pest and diseases. All root balls, containers and height to width ratios shall conform to the size standards set forth in AMERICAN STANDARDS FOR NURSERY STOCK.

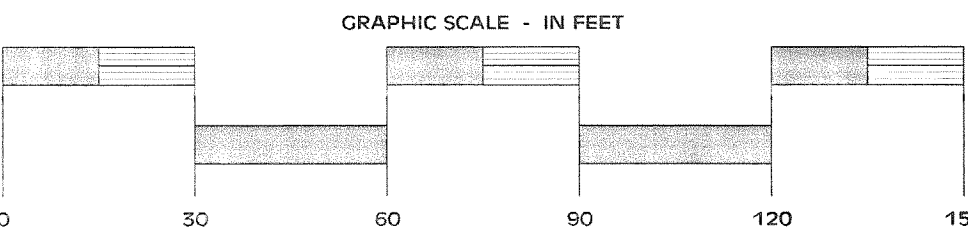
- Failure to plant with specified material will result in withholding of the Certificate of Occupancy.
- A landscape maintenance bond for the total price of the material planted on-site will be required before the issuance of the Certificate of Occupancy.
- No trees shall be planted within specified utility easements as shown on civil plans and tree protection plan.
- Inspection requirements:
 - Roswell arborist shall inspect the site before land disturbance and before the Issuance of a Certificate of Occupancy.
 - City of Roswell approval of landscape plan is required prior to landscape installation.
 - Trees to be saved/replaced as agreed upon by the city, owner, developer and contractor shall be the responsibility of the owner, developer and contractor.

PLANT LIST

SYMBOL	QTY	COMMON NAME	BOTANICAL NAME	SIZE/IN. EA.	Matching	%	TDU	TOTAL TDU
●	5	Nuttall Oak	Quercus nuttalli	4" CAL.	Matching	10%	0.9	4.5
○	4	Willow Oak	Quercus phellos "Hightower"	4" CAL.	Matching	7%	0.9	3.6
⊗	6	Japanese Zelcova	Zelkova serrata "Musashino"	4" CAL.	Matching	11%	0.9	5.4
⊗	7	European Beech	Fagus sylvatica "Fastigiata"	4" CAL.	Matching	12%	0.9	6.3
⊗	6	Yoshino Cherry	Prunus x yedoensis "Akebono"	3" CAL.	Matching	11%	0.5	3.0
⊗	15	Eastern Red Cedar	Juniperus virginiana	8-10' 3" CAL.	Matching, Full to ground 16' O.C. Min	27%	0.5	9.0
⊗	6	Eastern Hemlock	Tsuga canadensis	8-10' 3" CAL.	Matching, Full to ground 16' O.C. Min	11%	0.5	3.0
⊗	6	Japanese Cedar	Cryptomeria japonica "Yoshino"	8-10' 3" CAL.	Matching, Full to ground 16' O.C. Min	11%	0.5	3.0
	55	Total						37.8

SITE NOTES

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Tree Replacement Plan

Creekview Mixed Use Plan

Land Lot 417

1st District - 2nd Section

City of Roswell

Fulton County

Georgia

May 30, 2014

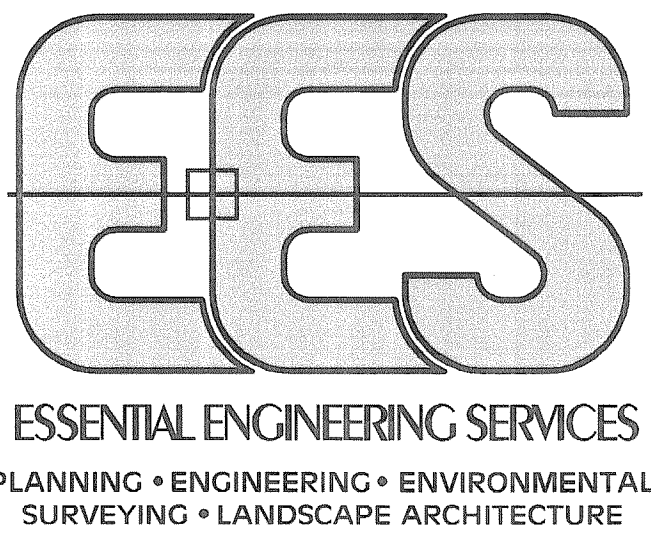
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Job Alias:

Sheet 4 of 4



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