

SITE DATA

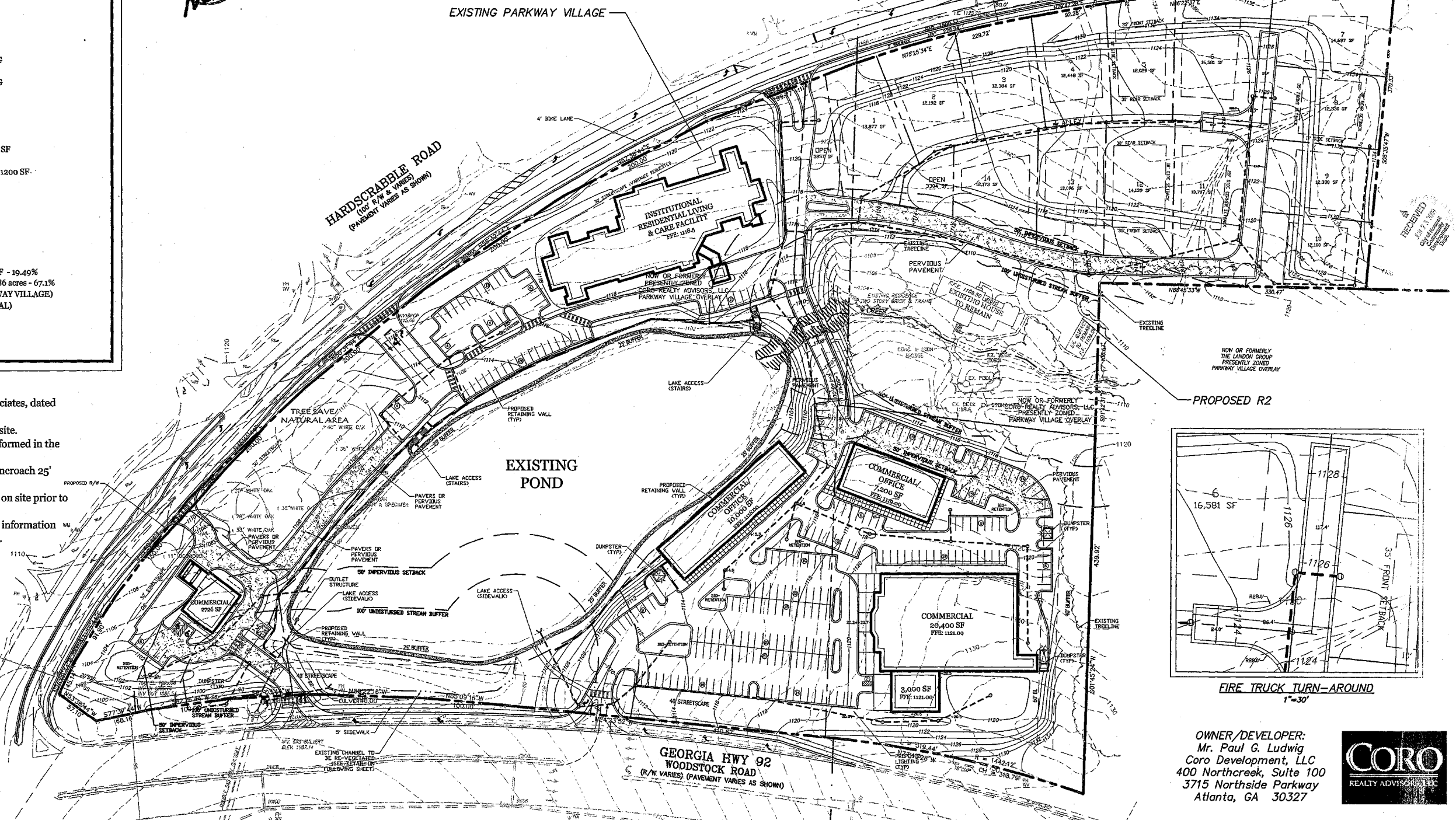
TOTAL ACRES - 20.546
 EXISTING ZONING: E-2/PV & E-2
 PROPOSED ZONING: PARKWAY VILLAGE & R-2

USES - PARKWAY VILLAGE:
 ACREAGE - 13.761 AC.
 COMMERCIAL/OFFICE: 43,326 SF
 INSTITUTIONAL: 80,000 SF
 DENSITY: 8991 SF/ACRE
 MAXIMUM HEIGHT: 40 Feet
 PROPOSED HEIGHT: 40 Feet (3 story)
 MAXIMUM NON-RESIDENTIAL BUILDING
 LOT COVERAGE: 25%
 PROPOSED NON-RESIDENTIAL BUILDING
 LOT COVERAGE: 1.52 acres - 11.08 %

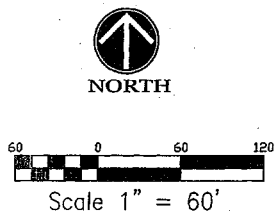
USES - R2:
 ACREAGE - 6.83 AC.
 RESIDENTIAL: 15 Lots (14 New, 1 Existing)
 EXISTING RESIDENTIAL LOT AREA: 9028 SF
 DENSITY: 2.19 Lots/ACRE
 MINIMUM RESIDENTIAL HEATED AREA: 1200 SF
 MAXIMUM RESIDENTIAL BUILDING
 LOT COVERAGE: 35%
 FRONT SETBACK: 35 Feet
 SIDE SETBACK: 10 Feet
 SIDE CORNER SETBACK: 25 Feet
 REAR SETBACK: 30 Feet
 MINIMUM LOT WIDTH: 85 Feet
OVERALL:
 PROPOSED IMPERVIOUS AREA: 174,452 SF - 19.49%
 PROPOSED LANDSCAPE COVERAGE: 13,786 acres - 67.1%
 PROPOSED PARKING: 272 spaces (PARKWAY VILLAGE)
 30 spaces (RESIDENTIAL)
 OPEN SPACE: 5.07 acres - 24.68%

NOTES:

- 1.) Reference survey by Gaskins & Associates, dated October 7, 2008.
- 2.) No FEMA Flood Plain exists on the site.
- 3.) Storm water management to be performed in the existing pond.
- 4.) Proposed retaining walls shall not encroach 25' lake buffer.
- 5.) Stormwater Quality will be handled on site prior to discharge to the existing lake.
- 6.) See detail on the following sheet for information regarding construction around the lake.



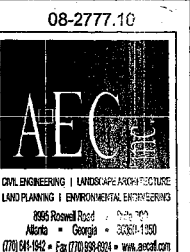
OWNER/DEVELOPER:
 Mr. Paul G. Ludwig
 Coro Development, LLC
 400 Northcreek, Suite 100
 Atlanta, GA 30327



Preliminary Site Plan CROSSVILLE HARDSCRABBLE

City of Roswell, Fulton County, Ga

SUBMITTED: DECEMBER 2, 2008
 REVISED: DECEMBER 8, 2008
 REVISED: FEBRUARY 6, 2009
 REVISED: MAY 1, 2009
 REVISED: JUNE 19, 2009
 REVISED: JUNE 23, 2009



EXISTING TREES CREDIT

TYPE	SIZE	UNITS
WHITE OAK	33"	7.95
WHITE OAK	28"	7.2
WHITE OAK	25"	6.75
WHITE OAK	35"	8.25
WHITE OAK	38"	8.7
WHITE OAK	40"	9
DOGWOOD	11"	3.9
DOGWOOD	15"	5
PINE	12"	21
PINE	13"	9
PINE	14"	4.8
PINE	15"	15
PINE	16"	5.3
PINE	18"	5.7
PINE	20"	6
PINE	21"	6.15
PINE	24"	0.6
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OAK	20"	6
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SWEET GUM	13"	4.5
HICKORY	12"	4.2
POPLAR	12"	4.2
POPLAR	23"	6.45

EXISTING DENSITY FACTOR 175.75

Tree Density Calculations for Crossville Hardscrabble

SITE DENSITY FACTOR (SDF)

SDF = Total Acreage x 30

SDF = 20.546 Acres x 30

SDF = 616.38 Units/Acre

EXISTING DENSITY FACTOR (EDF)

EDF = 175.75 Units (See Table this sheet)

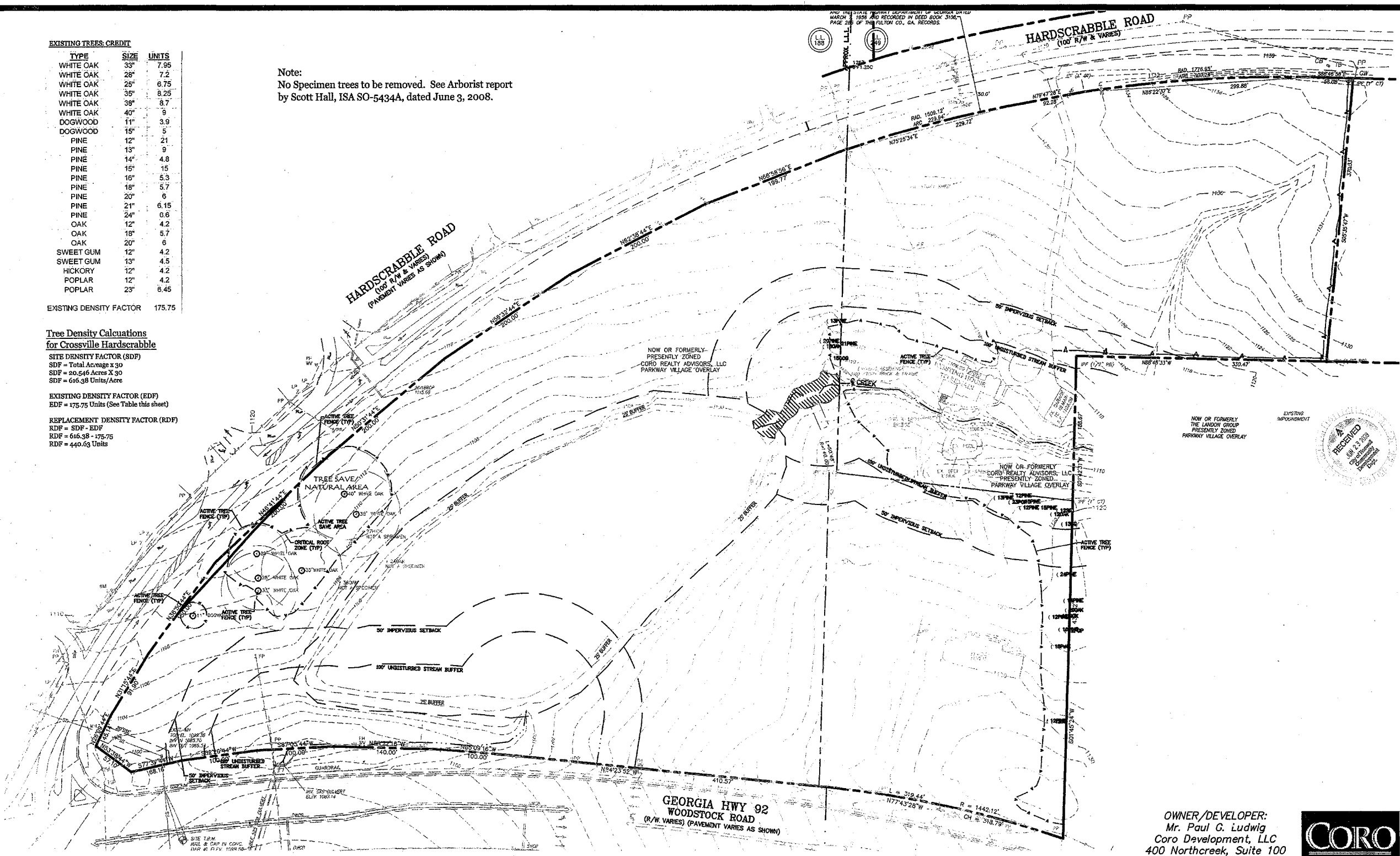
REPLACEMENT DENSITY FACTOR (RDF)

RDF = SDF - EDF

RDF = 616.38 - 175.75

RDF = 440.63 Units

Note:
No Specimen trees to be removed. See Arborist report
by Scott Hall, ISA SO-5434A, dated June 3, 2008.

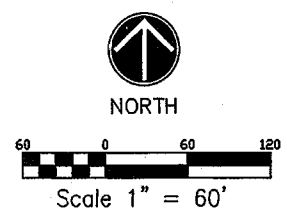


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TREE SURVEY

CROSSVILLE HARDSCRABBLE

CITY OF ROSWELL, FULTON COUNTY, GEORGIA

NO.	REVISIONS	DATE
1	CITY OF ROSWELL COMMENTS	12/09/2008
2	CITY OF ROSWELL COMMENTS	02/06/2009
3	CITY OF ROSWELL COMMENTS	05/07/2009
4	CLIENT REVISIONS	06/23/2009

PROJECT NO. - 08-2777.50
DRAWN - JCV
DESIGNED - SLR
CHECKED - A
DATE - DECEMBER 2, 2008

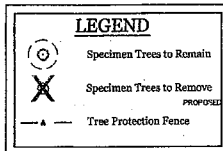
L1.0

TREE ORDINANCE NOTES (CITY OF ROSWELL)

1. THE ARBORIST SHALL MAKE UNSCHEDULED INSPECTIONS BEFORE AND DURING DEVELOPMENT TO ENSURE PROTECTION OF TREES, CRITICAL ROOT ZONES AND BUFFER ZONES.
2. NO PERSON IN THE CONSTRUCTION OF ANY STRUCTURE(S) OR IMPROVEMENT(S) OR ANY ACTIVITY SHALL ENCROACH OR PLACE SOLVENTS, MATERIAL, CONSTRUCTION MACHINERY OR TEMPORARY SOIL DEPOSITS WITHIN SIX (6) FEET OF THE AREA OUTSIDE THE DRIP LINE, AS DEFINED HEREIN, OF ANY SPECIMEN TREE OR ANY TREE WITHIN A TREE PROTECTION ZONE.
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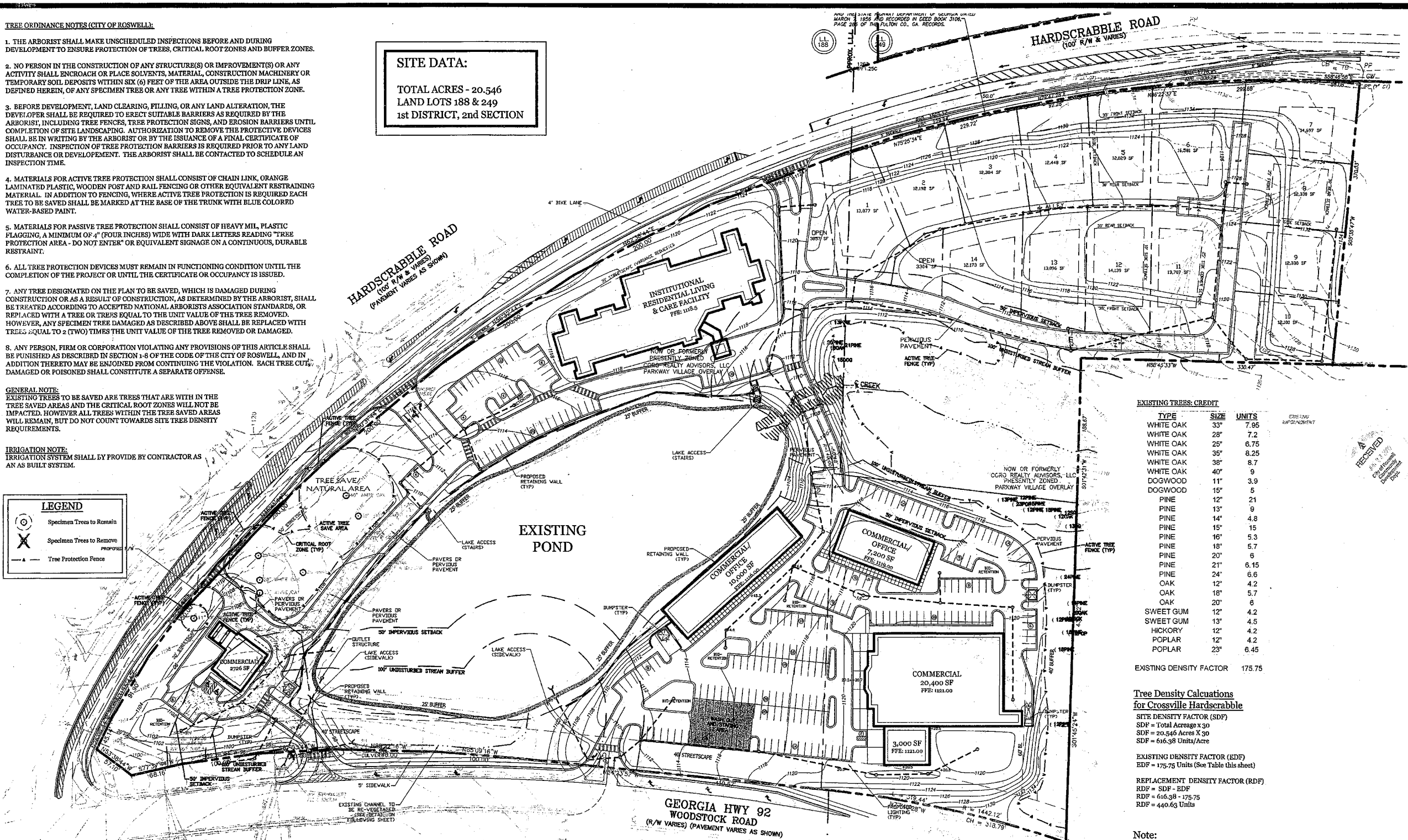
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IRRIGATION SYSTEM:
IRRIGATION SYSTEM SHALL BE PROVIDED BY CONTRACTOR AS AN AS BUILT SYSTEM.



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LAND LOTS 188 & 249
1st DISTRICT, 2nd SECTION



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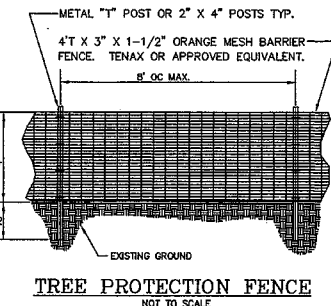
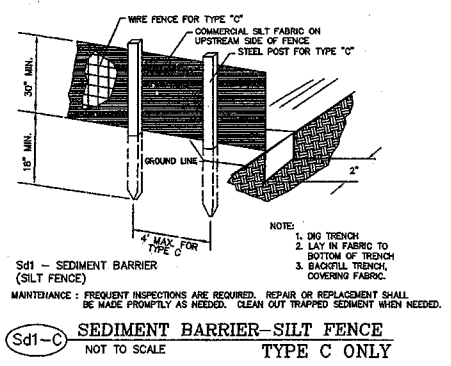
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Note:
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Atlanta, GA 30327



Scale 1" = 60'



SILT FENCE TYPES

Width of Fabric	Use
Type A (36")	1. On developments where the life of the project is greater than or equal to 6 months. 2. Where the slope gradient is steeper than 3:1.
Type B (24")	1. On projects, such as residential home sites or small commercial developments, where the life of the project is less than 6 months. 2. Where the slope gradient is less than or equal to 3:1.
Type C (36") with rougher riprap	1. Where all slopes exceed a vertical height of 20 feet and the slope gradient is steeper than 3:1.

Minimum Length	Type of Post	Size of Post
Type A	Softwood Oak Stake	3" dia. or 2x4 1.5" x 1.5"
Type B	Softwood Oak Stake	2" dia. or 2x1 1" x 1"
Type C	Steel	1.50 ft. min.



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TREE PROTECTION PLAN

CROSSVILLE HARDSCRABLE

CITY OF ROSWELL, FULTON COUNTY, GEORGIA

REVISIONS	DATE
1. CITY OF ROSWELL COMMENTS	12/08/2008
2. CITY OF ROSWELL COMMENTS	02/08/2009
3. CITY OF ROSWELL COMMENTS	05/01/2009
4. CLIENT REVISIONS	08/22/2009

PROJECT NO. - 08-2777.50
DRAWN - JCV
DESIGNED - SLR
CHECKED - [Signature]
DATE - DECEMBER 2, 2008

L2.0

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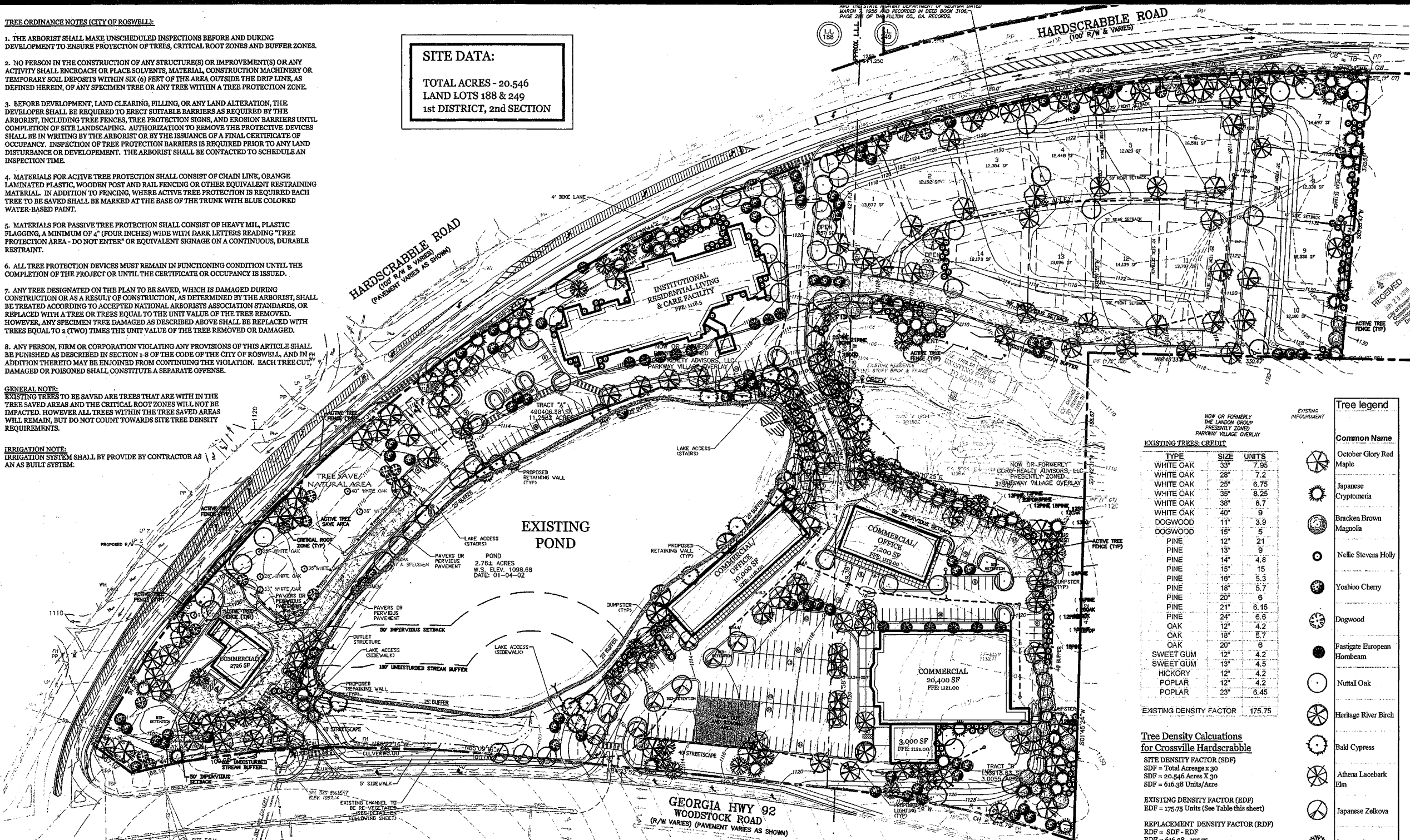
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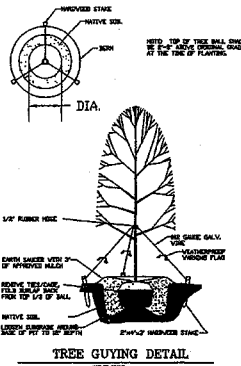
Tree Legend

Symbol	Common Name
(Symbol)	October Glory Red Maple
(Symbol)	Japanese Cryptomeria
(Symbol)	Bracken Brown Magnolia
(Symbol)	Nellie Stevens Holly
(Symbol)	Yoshino Cherry
(Symbol)	Dogwood
(Symbol)	Fastigate European Hornbeam
(Symbol)	Nuttall Oak
(Symbol)	Heritage River Birch
(Symbol)	Bald Cypress
(Symbol)	Athens Lacebark Elm
(Symbol)	Japanese Zelkova
(Symbol)	Green Ash

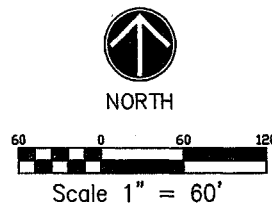
Tree Plant List

%	Quantity	Botanical Name	Common Name	Size	Replacement Density Factor (RDF)	Subtotal	Type
11.67%	77	Acer rubrum	October Glory	4"	0.9	69.3	Overstory
8.79%	58	Cryptomeria japonica	Japanese Cryptomeria	4"	0.9	52.2	Overstory
3.94%	26	Magnolia grandiflora	Bracken Brown Magnolia	4"	0.9	23.4	Overstory
26.52%	175	Ilex x Nellie R. Stevens	Nellie Stevens Holly	2"	0.5	87.5	Understory
12.42%	82	Prunus x yedoensis	Yoshino Cherry	3"	0.5	41	Understory
3.18%	21	Comus florida	Dogwood	3"	0.5	10.5	Understory
2.12%	14	Campania betulus 'fastigata'	Fastigate European Hornbeam	3"	0.5	7	Understory
10.91%	72	Quercus nuttallii	Nuttall Oak	4"	0.9	64.8	Overstory
2.88%	19	Betula nigra	Heritage River Birch	3"	0.5	9.5	Overstory
3.64%	24	Taxodium distichum	Bald Cypress	4"	0.9	21.6	Overstory
7.27%	48	Ulmus parvifolia Emser I	Athens Lacebark Elm	4"	0.9	43.2	Overstory
2.42%	16	Zelkova serrata	Japanese Zelkova	4"	0.9	14.4	Overstory
4.24%	28	Fraxinus pennsylvanica	Green Ash	4"	0.9	25.2	Overstory
Total	660				Total	444.4	

Site Density Factor (SDF) = 20.546 Acres x 30 = 616.38 Units
Existing Density Factor (EDF) = 175.75 Units
Required (RDF) = 616.38 (SDF) - 175.75 (EDF) = 440.63 Units
of Overstory: 368
of Understory: 292
% of Overstory: 1 / 0.70
444.4 Units Provided



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TREE REPLACEMENT PLAN
CROSSVILLE HARDSCRABLE
CITY OF ROSWELL, FULTON COUNTY, GEORGIA

REVISIONS

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