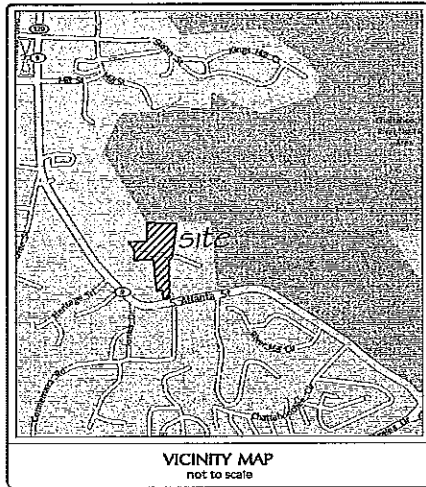
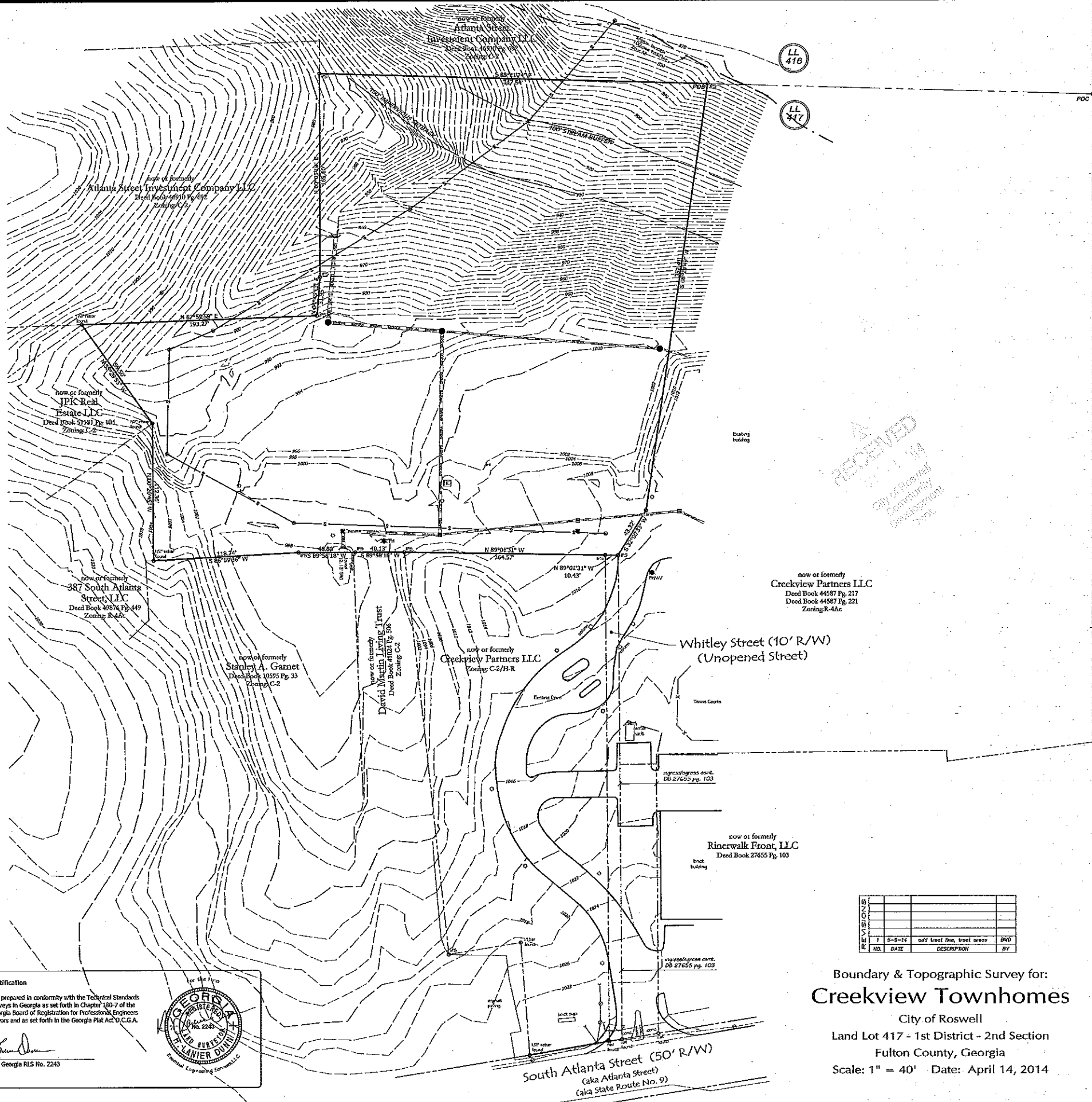




VICINITY MAP
not to scale

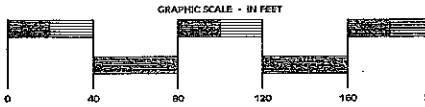


LEGEND	
AE	Access Easement
B.S.L.	Building Setback Line
CTP	Crimped Top Pipe
DE	Drainage Easement
DI	Drop Inlet
EP	Edge of Pavement
FH	Fire Hydrant
GM	Gas Meter
HW	Head Wall
OCS	Outlet Control Structure
OT	On Line
OTF	Open Top Pipe
PP	Power Pole
SE	Sanitary Sewer Easement
TE	Telephone Easement
UE	Utility Easement
UOL	Overhead Telephone Line
UGW	Underground Water Line
UGE	Underground Electric Line
UGT	Underground Telephone Line
UP	Ductile Iron Pipe
UV	Irrigation Control Valve
WM	Water Meter
WV	Underground Gas Line
CV	Gas Valve
WW	Water Valve
LP	Lamp Post
PP	Power Pole w/ Light
PP	Power Pole
UA	Limited Access
UTL	Underground Telephone Line
UEL	Underground Electric Line
WL	Gas Line
WL	Water Line
WPL	Overhead Power Line
CO	Fence Line
EO	Clean Out
EB	Electric Box
GM	Gas Marker
SM	Sanitary Sewer Manhole
TM	Telephone Box
WM	Water Marker
WM	Water Meter
FES	Flared End Section
JB	Junction Box
OCS	Outlet Control Structure
DVCS	Double Winged Catch Basin
SVCS	Single Winged Catch Basin
DI	Drop Inlet
HW	Head Wall
FH	Fire Hydrant
DS	12" Rebar Set

SURVEY NOTES
1. Site Area - Tract I - 1.228 acres, Tract II - 3.244 acres
2. This map or plat has been calculated for closure and is found to be accurate within 1 foot in 379,678 feet.
This plat has been prepared using a TOPCON GTS-313 Total Station for angle and distance measurements.
The field data upon which this map or plat is based has a closure precision of one (1) foot in 28,775 feet and an average angular error of 02 seconds per angle point, and was adjusted using Least Squares.
3. This property does not lie within a 100 year flood hazard zone as defined by the F.E.M.A. Insurance Rate Map of Fulton County, Georgia, Community Panel Number 15121C0065C, dated September 18, 2015.

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NOTE: This boundary survey was performed without the benefit of an Abstract of Title. Therefore this surveyor does not warrant information to be totally accurate as other legal documents may exist that were not uncovered by this surveyor. It should be understood by those parties using this information that other matters of title may or may not exist.



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Surveyor's Certification
This survey was prepared in conformity with the Technical Standards for Property Surveys in Georgia as set forth in Chapter 180-7 of the Rules of the Georgia Board of Registration for Professional Engineers and Land Surveyors and as set forth in the Georgia Plat Act O.C.G.A. 15-6-67.

H. Lanier Dunn
H. Lanier Dunn, Georgia RLS No. 2243

GEORGIA
REGISTERED
LAND SURVEYOR
No. 2243
H. Lanier Dunn, L.L.C.

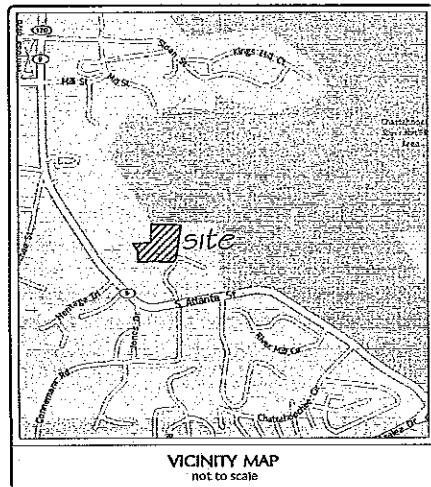
NO.	DATE	DESCRIPTION	BY
1	5-9-14	old tract line, road across	BND

Boundary & Topographic Survey for:
Creekview Townhomes
City of Roswell
Land Lot 417 - 1st District - 2nd Section
Fulton County, Georgia
Scale: 1" = 40' Date: April 14, 2014

EES
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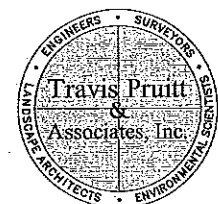
VICINITY MAP
not to scale

SURVEY NOTES

1. Site Area = 5.244 acres
2. This map or plat has been calculated for closure and is found to be accurate within 1 foot in 379,673 feet.
This plat has been prepared using a TOPCON GTS-515 Total Station for angle and distance measurements.
3. The field data upon which this map or plat is based has a closure precision of one (1) foot in 28,775 feet and an average angular error of 02 seconds per angle point, and was adjusted using Least Squares.
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OWNER / DEVELOPER

Creek View Partners, LLC

Vinay Bose

3150 Overland Drive, Roswell, GA 30075
Ph: 770-480-1111

24 HOUR - EMERGENCY CONTACT

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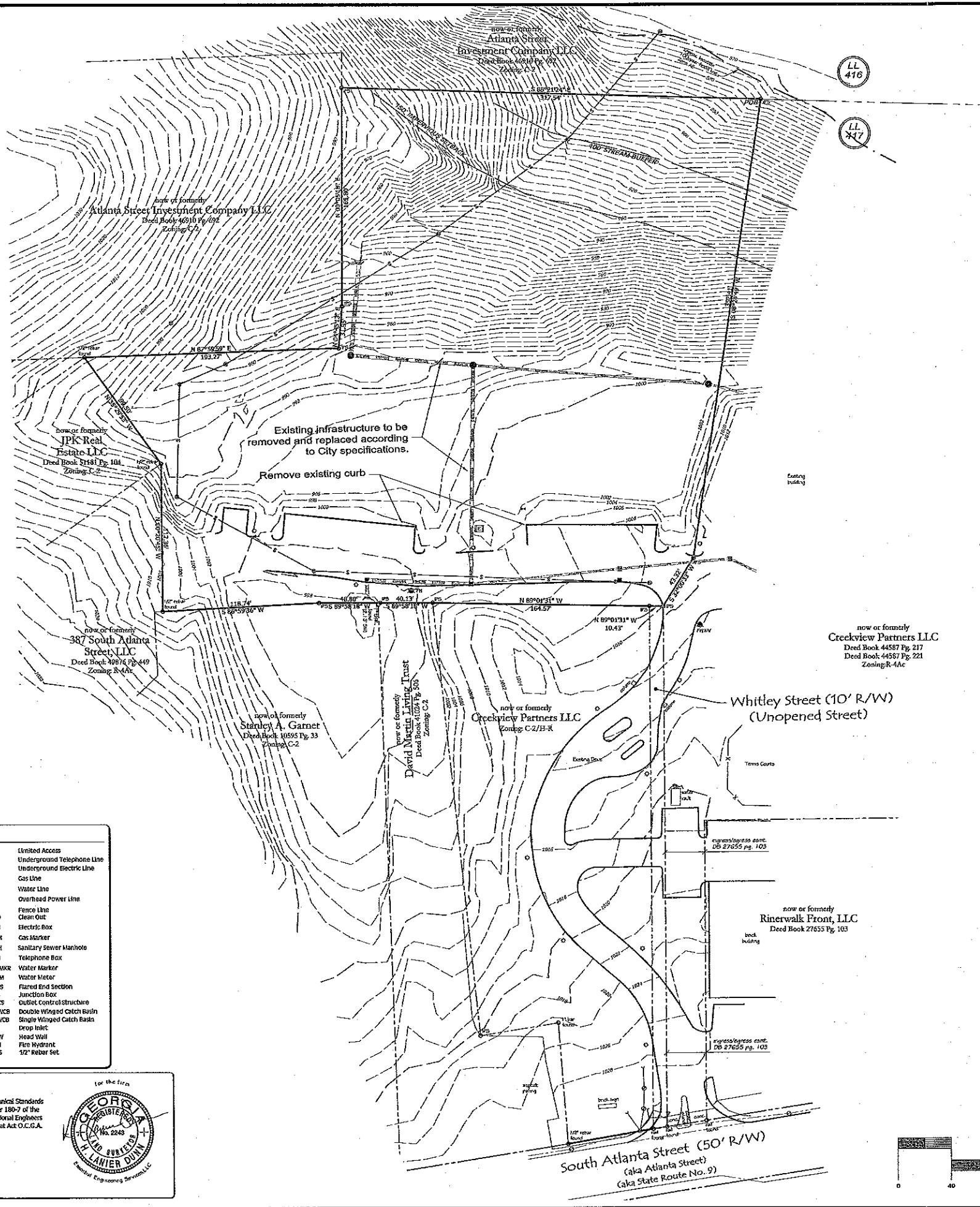
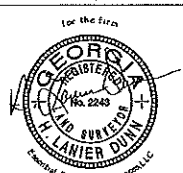
LEGEND

AE	Access Easement	///	Limited Access
B.S.L.	Building Setback Line	---	Underground Telephone Line
CTP	Cut/Top Pipe	---	Underground Electric Line
DE	Drainage Easement	---	Gas Line
EP	Drop Inlet	---	Water Line
EP	Edge of Pavement	---	Overhead Power Line
FI	Fire Hydrant	---	Fence Line
GA	Gas Meter	---	Clean Out
HW	Head Wall	---	Electric Box
OCS	Outlet Control Structure	---	Gas Meter
OT	On Line	---	Sanitary Sewer Manhole
OT	Open Top Pipe	---	Telephone Box
PP	Power Pole	---	Water Marker
SE	Sanitary Sewer Easement	---	Water Meter
TE	Telephone Easement	---	Flared End Section
UE	Utility Easement	---	Junction Box
OHT	Overhead Telephone Line	---	Outlet Control Structure
UGW	Underground Water Line	---	Double Winged Catch Basin
UGE	Underground Electric Line	---	Single Winged Catch Basin
UGT	Underground Telephone Line	---	Drop Inlet
DIP	Ductile Iron Pipe	---	Head Wall
ICV	Isolation Control Valve	---	Fire Hydrant
WV	Water Valve	---	1/2" Rebar Set
WM	Water Meter	---	
UGG	Underground Gas Line	---	
GV	Gas Valve	---	
WV	Water Valve	---	
LP	Lamp Post	---	
PP	Power Pole w/ Light	---	
PP	Power Pole	---	

Surveyor's Certification

This survey was prepared in conformity with the Technical Standards for Property Surveys in Georgia as set forth in Chapter 180-7 of the Rules of the Georgia Board of Registration for Professional Engineers and Land Surveyors and as set forth in the Georgia Plat Act O.C.G.A. 15-6-67.

[Signature]
H. Lanier Dunn, Georgia RLS No. 2243



SITE NOTES

1. Site area - 5.24 acres
2. Density:
Townhomes - 31-9.56 u/a
Open Space - 1.39 acres (43%)
3. Existing Zoning - R-4C/H-R
4. Proposed Zoning - NA
5. Proposed land use - Townhomes
6. This property does not lie within a 100 year flood hazard zone as defined by the F.E.M.A. Insurance Rate Map of Fulton County, Georgia, Community Panel Number 15121C00630, dated September 18, 2013.
7. Public sanitary sewer service to be provided by Fulton County.
8. Public water service to be provided by Fulton County.
9. This site contains no known archeological or historical sites.
10. The proposed development will be a gated community with private streets.
11. Existing infrastructure to be removed and replaced as shown on plan.

Site Analysis

Creekview
Town
Homes
Tract II

Land Lot 417

1st District - 2nd Section

City of Roswell

Fulton County

Georgia

October 24, 2014

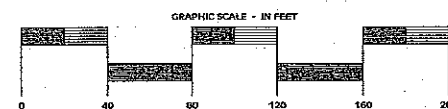
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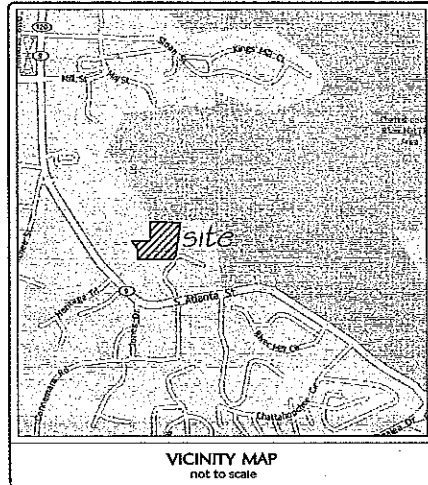
County Project Number ?

CN: 14019concept05-Track II Sub-rev1.dwg

Job Alias:

Sheet 2 of 4





VICINITY MAP
not to scale

SURVEY NOTES

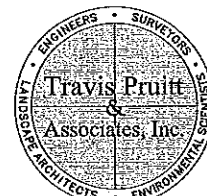
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STORMWATER MANAGEMENT NOTES

1. Water quality to be obtained by utilizing underground infiltration chambers below proposed drive aisles.
2. Alternate compliance for detention requirement to be achieved by the analysis of the downstream flow characteristics of the receiving waters.
3. Alternate compliance for Channel Protection to be achieved upon analysis of the downstream conveyance ability to handle the undisturbed flow from the site.



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OWNER / DEVELOPER

Creek View Partners, LLC

Vinay Bose

3150 Overland Drive,
Roswell, GA 30075

Ph: 770-480-1111

24 HOUR - EMERGENCY CONTACT

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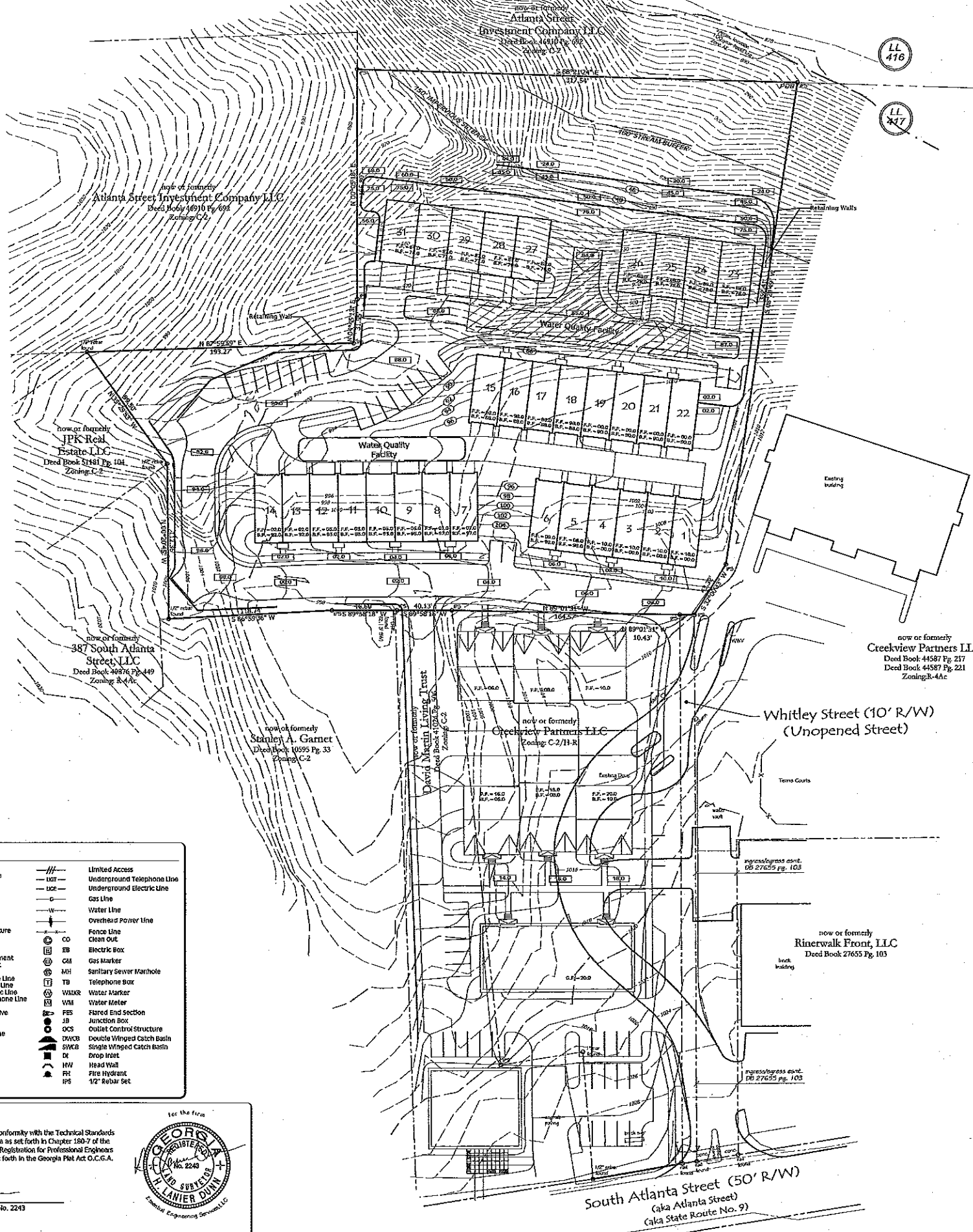
LEGEND

AE	Access Easement		Limited Access	
B.S.L.	Building Setback Line		Underground Telephone Line	
CTP	Crimped Top Pipe		Underground Electric Line	
DE	Drainage Easement		Gas Line	
DI	Drop Inlet		Water Line	
EP	Edge of Pavement		Overhead Power Line	
FM	Fire Hydrant		Fence Line	
GM	Gas Meter		Clean Out	
HW	Head Wall		Electric Box	
OCS	Outlet Control Structure		Gas Marker	
O.L.	On Line		Sanitary Sewer Manhole	
OTF	Open Top Pipe		Telephone Box	
PP	Power Pole		Water Marker	
SSE	Sanitary Sewer Easement		Water Meter	
TE	Telephone Easement		Flared End Section	
UE	Utility Easement		Junction Box	
OTF	Overhead Telephone Line		Outlet Control Structure	
UWL	Underground Water Line		DWCB	Double Winged Catch Basin
UCE	Underground Electric Line		SWCB	Single Winged Catch Basin
UGL	Underground Gas Line		DI	Drop Inlet
IP	Irrigation Pipe		HW	Head Wall
ICV	Irrigation Control Valve		FD	Fire Hydrant
WV	Water Valve		IPS	1/2" Rebar Set
WMA	Water Meter			
WV	Water Valve			
WV	Water Valve			
LP	Lamp Post			
PP	Power Pole w/ Light			
PP	Power Pole			

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H. Lanier Dunn, Georgia RLS No. 2243



SITE NOTES

1. Site area - 3.24 acres
2. Density:
Townhomes - 31- 8.86 u/a
Open Space: 1.39 acres (43%)
3. Existing Zoning - R-4C/H/R
4. Proposed Zoning - NA
5. Proposed land use: Townhomes
6. This property does not lie within a 100 year flood hazard zone as defined by the F.E.M.A. Insurance Rate Map of Fulton County, Georgia, Community Panel Number 1312100630, dated September 16, 2013.
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9. This site contains no known archeological or historical sites.
10. The proposed development will be a gated community with private streets.
11. Existing Infrastructure to be removed and replaced as shown on plan.

DEVELOPMENT STATISTICS SUMMARY CHART

SITE DATA	REQUIRED	PROPOSED
Total Area of Site = 3.24 Acres		45'
Height of Proposed Building	45' Maximum	9 - 25' Wide Front Entry Units
Gross sq. footage of building area	2,400 SF Minimum	22 - 20' Wide Rear Entry Units
Landscaping Area		21,675 sq. ft. planting areas 27,384 sq. ft. tree save area = 49,059 sq. ft. (34%)
Impervious Surface		56,756 sq. ft. (40%)
Parking	2 space per unit = 62 Min.	62 Spaces
Undeveloped and Open Space		60,834 sq. ft. (48%)
Conditional Use Change	Current Use - Condominium	Townhomes

Site Plan

Creekview Town Homes Tract II

Land Lot 417

1st District - 2nd Section

City of Roswell

Fulton County

Georgia

October 24, 2014

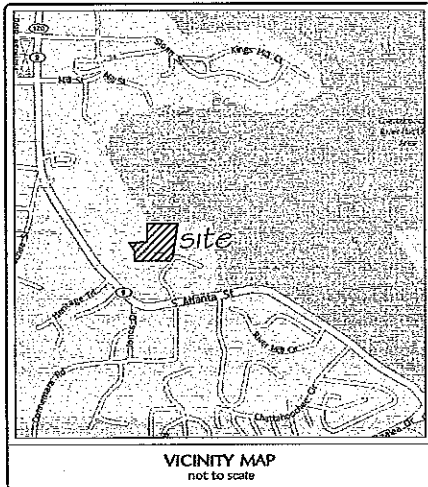
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? County Project Number ?

CN: 14019concept05-Track II Sub-rev1.dwg

Job Alias:

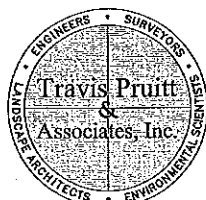
Sheet 3 of 4



VICINITY MAP
not to scale

SITE NOTES

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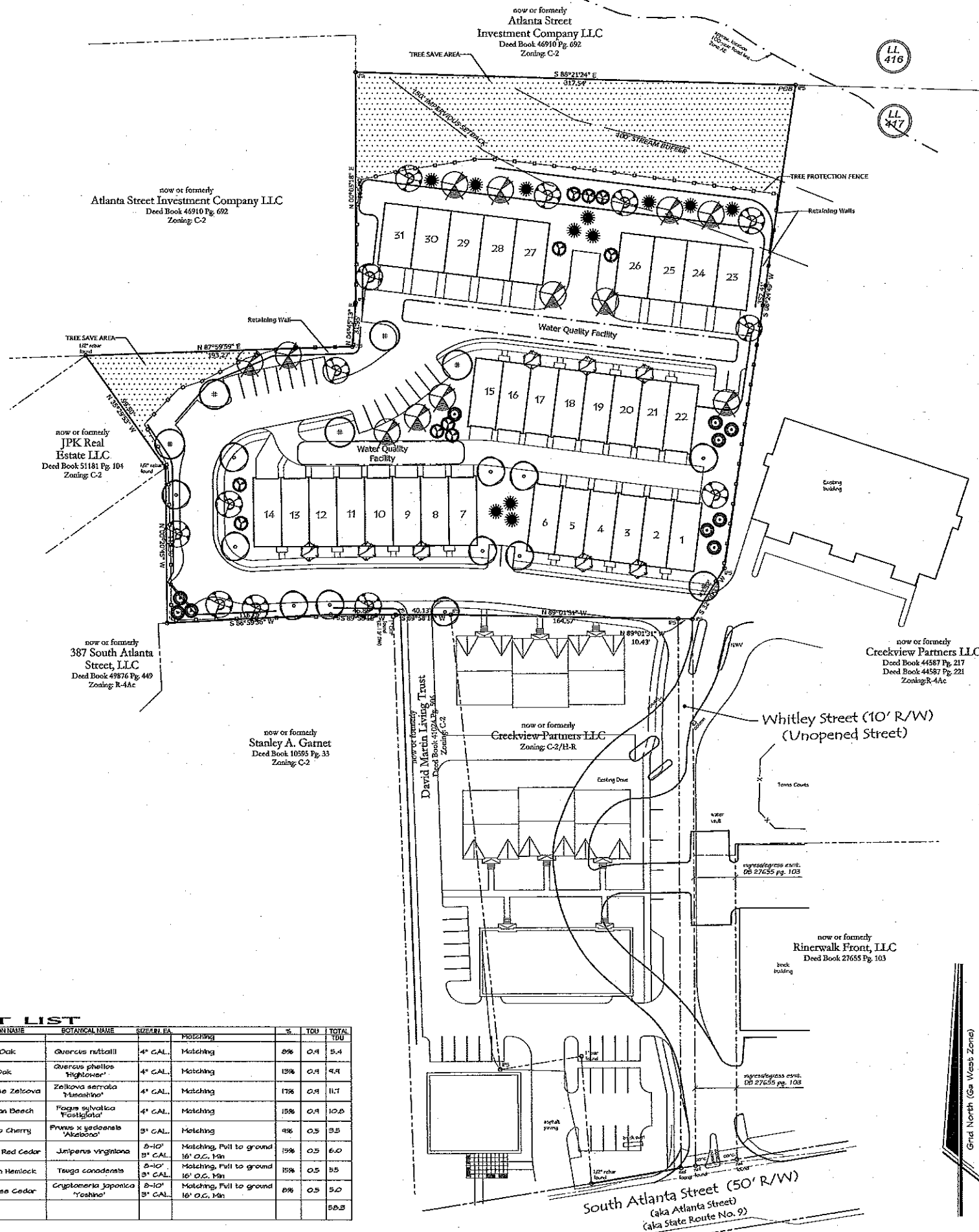
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24 HOUR - EMERGENCY CONTACT

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PLANT LIST

SYMBOL	QTY	COMMON NAME	BOTANICAL NAME	SIZE/AREA	MATCHING	%	TOT	TOTAL TDU
1	9	Nuttall Oak	Quercus nuttallii	4" CAL.	Matching	8%	0.4	5.4
2	11	Hellaw Oak	Quercus phellos 'Highlander'	4" CAL.	Matching	15%	0.4	4.4
3	10	Japanese Zelkova	Zelkova serrata 'Nishikawa'	4" CAL.	Matching	17%	0.4	11.7
4	12	European Beech	Fagus sylvatica 'Fastigiata'	4" CAL.	Matching	15%	0.4	10.0
5	8	Yoshino Cherry	Prunus x yedoensis 'Akebono'	3" CAL.	Matching	4%	0.3	3.3
6	12	Eastern Red Cedar	Juniperus virginiana	8-10' B" CAL.	Matching, Full to ground 16" O.C. Min	15%	0.3	6.0
7	11	Eastern Hemlock	Tsuga canadensis	8-10' B" CAL.	Matching, Full to ground 16" O.C. Min	15%	0.3	3.3
8	10	Japanese Cedar	Cryptomeria japonica 'Yoshino'	8-10' B" CAL.	Matching, Full to ground 16" O.C. Min	8%	0.3	3.0
9	83	Total						50.3



Tree Density Calculation

SITE DENSITY FACTOR(SDF) = 30 x Site Area
SDF = (3.24 acres x 30) = 97.2 TDU
83 Proposed trees will be planted to meet tree density for a total of 97.2 TDU.
The remaining 38.9 tree density units will be contributed to the Roswell Tree Bank.

SPECIMEN TREE

No Specimen Trees will be affected by proposed construction.

NOTES

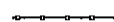
Section 15.25 The Arborist shall make unscheduled inspections before and during development to ensure protection of trees, critical root zones and buffer zones.
Section 15.2.6 (A) No person in the construction of any structure(s) or improvement(s) or any activity shall encroach or place solvents, material, construction machinery or temporary soil deposits within six (6) feet of the area outside the drip line, as defined herein, of any specimen tree or any tree within a tree protection zone.
Section 15.2.6 (B) Before development, land clearing, filling or any land alteration, the developer shall be required to erect suitable protective barriers as required by the Arborist, including tree fences, tree protection signs, and erosion barriers until completion of site landscaping. Authorization to remove the protective devices shall be in writing by the Arborist or by the issuance of a final Certificate of Occupancy. Inspection of tree protection barriers is required prior to any land disturbance or development. The Arborist shall be contracted to schedule an inspection time.
Section 15.2.6 (C) Materials for active tree protection shall consist chain link, orange laminated plastic, wooden post and rail fencing or other equivalent restraining material in addition to fencing, where active tree protection is required, each tree to be saved shall be marked at the base of the trunk with blue colored water-based paint.
Section 15.2.6 (D) Materials for passive tree protection shall consist of heavy mil, plastic flagging, a minimum of 4" (four inches) wide with dark letters reading "Tree Protection area Do Not Enter" or equivalent signage on a continuous durable restraint.
Section 15.6 Any person, firm or corporation violating any provisions of this article shall be punished as described in Section 14 of the Code of the City of Roswell, and in addition thereto may be enjoined from continuing the violation. Each tree cut, damaged or poisoned shall constitute a separate offense. All trees shall be straight trunked, full headed and meet all requirements specified. All trees and shrubs must be container grown balled and burlapped with sizes as indicated on the plant list or on the drawings. All plants shall be healthy; vigorous, free of pest and diseases. All root balls, containers and height to width ratios shall conform to the size standards set forth in AMERICAN STANDARDS FOR NURSERY STOCK.

- Failure to plant with specified material will result in withholding of the Certificate of Occupancy.
- A landscape maintenance bond for the total price of the material planted on-site will be required before the issuance of the Certificate of Occupancy.
- No trees shall be planted within specified utility easements as shown on civil plans and tree protection plan.
- Inspection requirements:
 - Roswell arborist shall inspect the site before land disturbance and before the issuance of a Certificate of Occupancy.
 - City of Roswell approval of landscape plan is required prior to landscape installation.
 - Trees to be saved/replaced as agreed upon by the city, owner, developer and contractor shall be the responsibility of the owner, developer and contractor.

LEGEND



TREE SAVE AREA



TREE PROTECTION FENCE

Tree Replacement Plan

Creekview
Town
Homes
Tract II

Land Lot 417

1st District - 2nd Section

City of Roswell

Fulton County

Georgia

October 24, 2014

Scale: 1" = 40'

? County Project Number ?

CN: 14019concept05-Tract II Sub-rev1.dwg

Job Alias:

Sheet 4 of 4