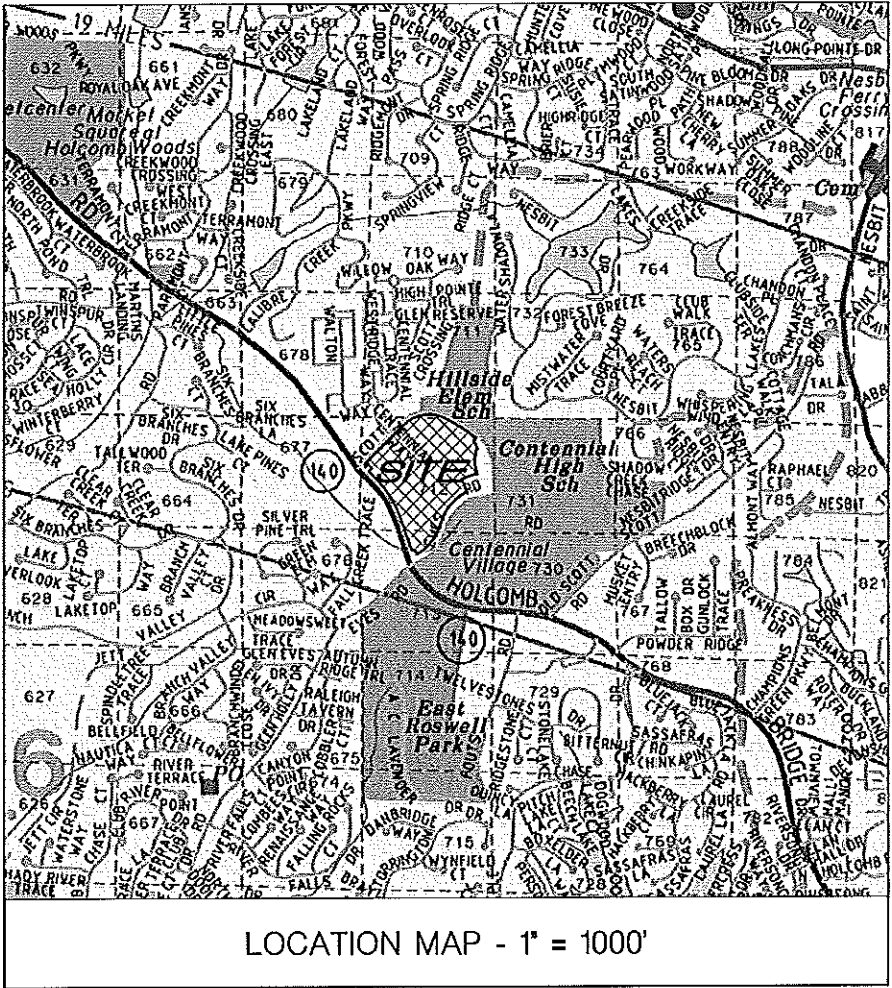


# CENTENNIAL WALK

LAND LOTS 712 & 713, 1ST DISTRICT,  
CITY OF ROSWELL, FULTON COUNTY, GEORGIA  
ZONED MPMUD



Owner/Developer: \_\_\_\_\_  
*John Wieland*  
**JOHN WIELAND HOMES  
AND NEIGHBORHOODS**  
jwhomes.com  
4125 Atlanta Road SE • Smyrna, GA 30080  
24 Hour Contact: Jason Garrett 770-703-1646

**Gaskins**  
ENGINEERING  
SURVEYING  
PLANNING/CONSULTING  
CONSTRUCTION MGMT  
1266 Powder Springs Road  
Marietta, Georgia 30064  
Phone: (770) 434-7168  
Fax: (770) 434-7593  
WWW.GASKINSURV.COM

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CENTENNIAL WALK  
---  
LAND LOTS 712 & 713, 1ST DISTRICT,  
CITY OF ROSWELL, FULTON COUNTY, GEORGIA  
ZONED MPMUD  
---

| REVISIONS |         |          |           |
|-----------|---------|----------|-----------|
| REV.      | DATE    | REVISION | REFERENCE |
| 1         | 9/19/13 | LAYOUT   |           |
| 2         |         |          |           |
| 3         |         |          |           |
| 4         |         |          |           |
| 5         |         |          |           |
| 6         |         |          |           |
| 7         |         |          |           |
| 8         |         |          |           |
| 9         |         |          |           |

SHEET TITLE  
COVER

SEAL



|                      |                        |
|----------------------|------------------------|
| PROJECT I.D.<br>W109 | FIELD BOOK<br>----     |
| DRAWN BY<br>SJJ      | CHECKED BY<br>CED      |
| SCALE<br>NA          | ISSUE DATE<br>06/04/13 |

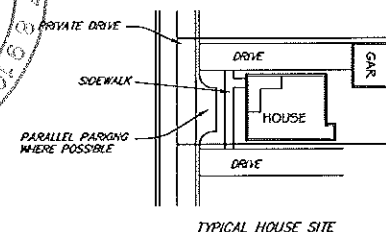
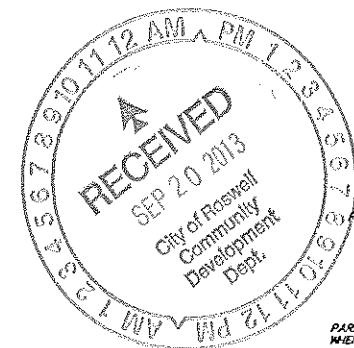
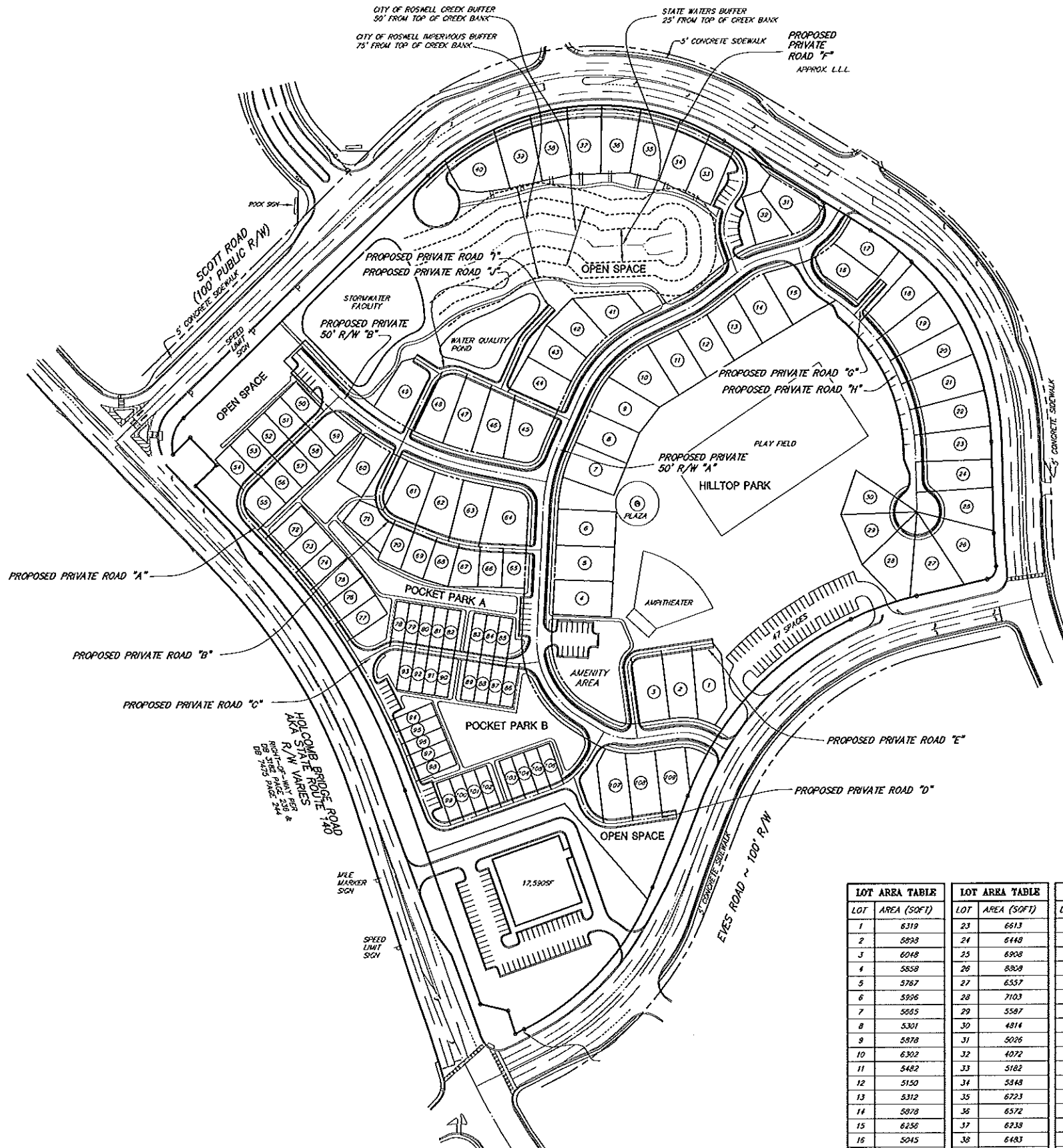
SHEET NUMBER  
**01**

NOT ISSUED FOR CONSTRUCTION



Know what's below.  
Call before you dig.

THIS PARCEL OF LAND IS NOT IN THE 100 YEAR FLOOD PLAIN AND IS IN ZONE "X" ACCORDING TO F.E.M.A. (F.I.A.) COMMUNITY NUMBER 130033 MAP NUMBER 1312100056 DATED JUNE 22, 1993



#### SITE DATA:

TOTAL ACRES ~ 27.90 ACRES  
PROPOSED ZONING ~ MPUD

RESIDENTIAL REQUIREMENTS:  
MINIMUM DENSITY ~ 2 UNITS PER ACRE  
MAXIMUM DENSITY ~ 5 UNITS PER ACRE

#### SETBACKS:

FRONT ~ 0  
SIDE ~ 0  
REAR ~ 0  
10' BETWEEN BUILDINGS

OPEN SPACE ~ 10.47 ACRES (37.5%)  
OPEN SPACE REQUIRED ~ 30%  
SINGLE FAMILY LOTS ~ 80  
TOWNHOMES ~ 29  
RETAIL SPACE ~ 17,590 S.F.

#### PARKING SHOWN:

SINGLE FAMILY ~ 58 SPACES  
RETAIL ~ 80 SPACES  
AMENITY AREA ~ 41 SPACES  
TOTAL SHOWN ~ 158 SPACES

#### NOTES:

1. SITE LIGHTING SHALL COMPLY WITH CITY OF ROSWELL REGULATIONS.
2. SIDEWALKS LOCATED IN THE IMPERVIOUS SETBACK WILL USE PERVIOUS MATERIALS.

#### STREET SUMMARY:

50' PRIVATE RIGHT OF WAY:

A - 1407 L.F.

B - 492 L.F.

PRIVATE ROADS:

A - 1235 L.F.

B - 408 L.F.

C - 314 L.F.

D - 228 L.F.

E - 282 L.F.

F - 787 L.F.

G - 75 L.F.

H - 513 L.F.

I - 184 L.F.

J - 370 L.F.

#### OPEN SPACE CHART:

POCKET PARK A - 0.74 ACRES  
POCKET PARK B - 0.73 ACRES  
HILLTOP PARK - 4.54 ACRES  
OPEN SPACE - 4.46 ACRES  
TOTAL - 10.47 ACRES

| LOT | AREA (SQFT) | LOT | AREA (SQFT) | LOT | AREA (SQFT) | LOT | AREA (SQFT) | LOT | AREA (SQFT) |
|-----|-------------|-----|-------------|-----|-------------|-----|-------------|-----|-------------|
| 1   | 6319        | 23  | 6613        | 45  | 6339        | 67  | 2975        | 89  | 1630        |
| 2   | 5838        | 24  | 6448        | 46  | 5481        | 68  | 3094        | 90  | 1630        |
| 3   | 6048        | 25  | 6908        | 47  | 5749        | 69  | 3027        | 91  | 1628        |
| 4   | 5838        | 26  | 8308        | 48  | 5505        | 70  | 2889        | 92  | 1628        |
| 5   | 5787        | 27  | 6537        | 49  | 7084        | 71  | 4175        | 93  | 1624        |
| 6   | 5906        | 28  | 7103        | 50  | 2604        | 72  | 3032        | 94  | 1677        |
| 7   | 5855        | 29  | 5597        | 51  | 2626        | 73  | 3394        | 95  | 1657        |
| 8   | 5301        | 30  | 4814        | 52  | 2755        | 74  | 3229        | 96  | 1649        |
| 9   | 5878        | 31  | 5026        | 53  | 2748        | 75  | 3240        | 97  | 1650        |
| 10  | 6302        | 32  | 4072        | 54  | 2391        | 76  | 3137        | 98  | 1724        |
| 11  | 5482        | 33  | 5182        | 55  | 4158        | 77  | 3117        | 99  | 1723        |
| 12  | 5150        | 34  | 5348        | 56  | 2620        | 78  | 1843        | 100 | 1653        |
| 13  | 5312        | 35  | 6723        | 57  | 2758        | 79  | 1837        | 101 | 1652        |
| 14  | 5878        | 36  | 6572        | 58  | 2626        | 80  | 1638        | 102 | 1652        |
| 15  | 6236        | 37  | 6238        | 59  | 3600        | 81  | 1840        | 103 | 1652        |
| 16  | 5045        | 38  | 6483        | 60  | 42199       | 82  | 1841        | 104 | 1652        |
| 17  | 5253        | 39  | 6525        | 61  | 5845        | 83  | 1845        | 105 | 1719        |
| 18  | 7103        | 40  | 7351        | 62  | 5726        | 84  | 1845        | 106 | 1710        |
| 19  | 6999        | 41  | 4726        | 63  | 5423        | 85  | 1653        | 107 | 5834        |
| 20  | 6794        | 42  | 4819        | 64  | 7016        | 86  | 1840        | 108 | 5761        |
| 21  | 7299        | 43  | 4913        | 65  | 2538        | 87  | 1830        | 109 | 5351        |
| 22  | 6848        | 44  | 5547        | 66  | 2615        | 88  | 1832        |     |             |

100 0 100 200  
SCALE IN FEET

Owner/Developer:

*John Wieland*  
**JOHN WIELAND HOMES**  
AND NEIGHBORHOODS  
jwhomes.com

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CENTENNIAL WALK

LAND LOTS 712 & 713, 1ST DISTRICT,  
CITY OF ROSWELL, FULTON COUNTY, GEORGIA  
ZONED MPUD

| REV. | DATE    | REVISION | REFERENCE |
|------|---------|----------|-----------|
| 1    | 7-30-13 | LAYOUT   |           |
| 2    | 9-19-13 | LAYOUT   |           |
| 3    |         |          |           |
| 4    |         |          |           |
| 5    |         |          |           |
| 6    |         |          |           |
| 7    |         |          |           |
| 8    |         |          |           |
| 9    |         |          |           |

SHEET TITLE

SITE PLAN

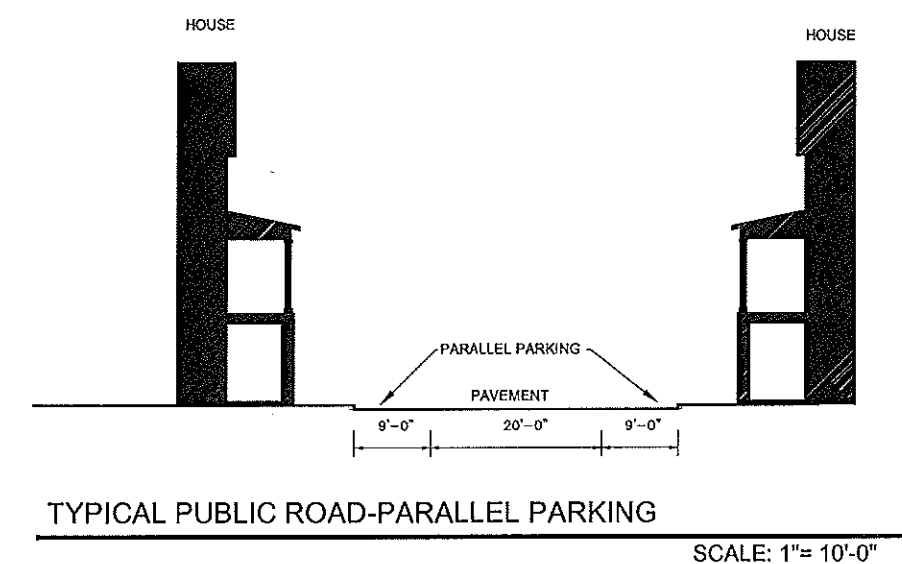
SEAL



| PROJECT I.D. | FIELD BOOK |
|--------------|------------|
| W109         | ----       |
| DRAWN BY     | CHECKED BY |
| SJJ          | CED        |
| SCALE        | ISSUE DATE |
| 1"=100'      | 06/04/13   |
| SHEET NUMBER |            |
| 02           |            |

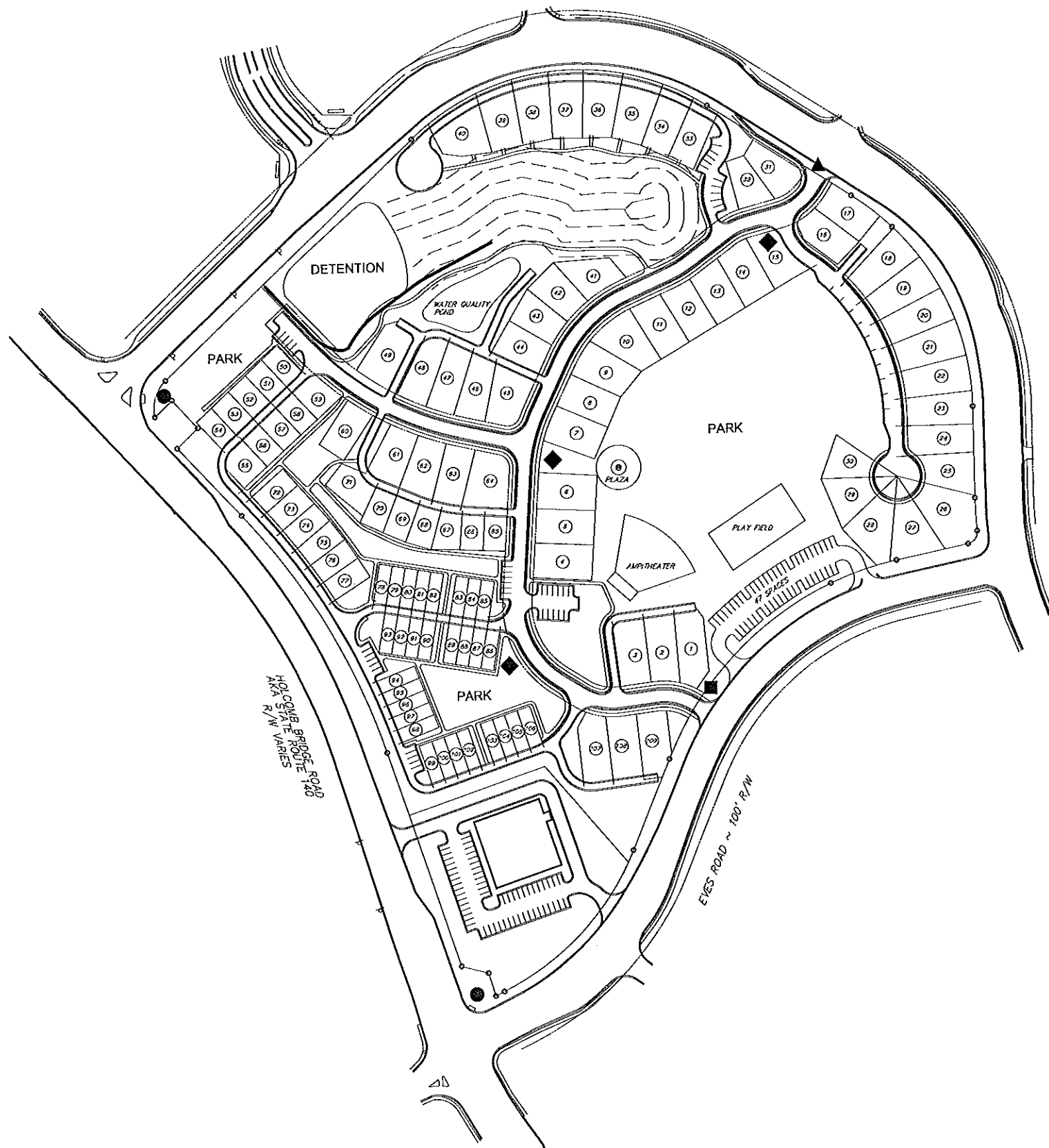
NOT ISSUED FOR CONSTRUCTION



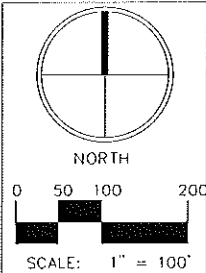


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- PRIMARY NEIGHBORHOOD IDENTIFICATION
- PRIMARY ENTRY IDENTIFICATION
- ▲ SECONDARY ENTRY IDENTIFICATION
- ◆ SITE DIRECTIONAL SIGNAGE



*John Weland*  
**JOHN WELAND HOMES  
 AND NEIGHBORHOODS**  
 4125 ATLANTA ROAD SE, SMYRNA, GA 30080  
 PH. (770)996-1400

Centennial  
 Roswell, Georgia

REVISIONS  
 03-19-13 PLAN REVISIONS

DATE: 08-05-13  
 DRAWN BY: CA CHECKED BY: CA

**SIGNAGE  
 PLAN**

**LS-2**

| LEGEND        |                                   |
|---------------|-----------------------------------|
|               | P.P. - POWER POLE                 |
|               | L.P. - LIGHT POLE                 |
|               | F.H. - FIRE HYDRANT               |
|               | S.H. - SANITARY SEWER MANHOLE     |
|               | W.M. - WATER METER                |
|               | G.M. - GAS METER                  |
|               | R.B.S. - REINFORCING BAR SET      |
|               | R.B.F. - REINFORCING BAR FOUND    |
|               | C.T.F. - CRIMP TOP PIPE FOUND     |
|               | O.T.F. - OPEN TOP PIPE FOUND      |
|               | R/W MON. - RIGHT-OF-WAY MONUMENT  |
| TYPE OF FENCE |                                   |
|               | J.B. - JUNCTION BOX               |
|               | D.I. - DROP INLET / YARD INLET    |
|               | C.B. - CATCH BASIN                |
|               | R.C.P. - REINFORCED CONCRETE PIPE |
|               | C.M.P. - CORRUGATED METAL PIPE    |
|               | F.F.E. - FINISHED FLOOR ELEVATION |
|               | W.V. - WATER VALVE                |
|               | C.O. - SEWER CLEAN OUT            |
|               | T.M. - TELEPHONE MANHOLE          |
|               | O.P.L. - OVERHEAD POWER LINES     |
|               | H.W. - HEADWALL                   |
|               | P.B.X. - POWERBOX                 |
|               | S.T.A. - STREET ADDRESS           |
|               | W. - WATER LINE                   |
|               | T. - UNDERGROUND TELEPHONE LINE   |
|               | G. - GAS LINE                     |
|               | E. - UNDERGROUND ELECTRICAL LINE  |

#### SURVEYOR NOTES:

- 1.) HORIZONTAL DATUM IS NAD 83. VERTICAL DATUM IS NAVD 83.
- 2.) THE NORTHING, EASTING, AND ELEVATION OF THE STARTING POINTS FOR THIS SURVEY WERE OBTAINED UTILIZING A TRIMBLE 5800 GPS RECEIVER WITH A TRIMBLE TSC2 DATA COLLECTOR RECEIVING RTK CORRECTIONS VIA A CELL PHONE FROM THE EGPS SOLUTIONS REAL TIME NETWORK. THE TECHNIQUE USED WAS RTK CORRECTED MEASUREMENTS FROM THE TRIMBLE REAL TIME NETWORK OPERATED BY EGPS SOLUTIONS, INC. THE RELATIVE POSITIONAL ACCURACY OBTAINED ON THE POINTS UTILIZED IN THIS SURVEY WERE 0.04 FT. HORIZONTAL AND 0.07 FT. VERTICAL AT THE 95% CONFIDENCE LEVEL.
- 3.) LOCATION OF ROAD RIGHT OF WAYS AND PROPERTY LINES SHOWN ARE APPROXIMATE IN NATURE.

#### GENERAL NOTES:

"NO BUILDINGS OR ASPHALT PARKING EXIST ON THE SURVEYED PROPERTY"  
"NO OBSERVED EVIDENCE OF CURRENT EARTH MOVING WORK, BUILDING CONSTRUCTION OR BUILDING ADDITION ON THE SURVEYED PROPERTY."  
"NO PROPOSED CHANGES IN STREET RIGHT-OF-WAY LINES OBSERVED OR PROVIDED."

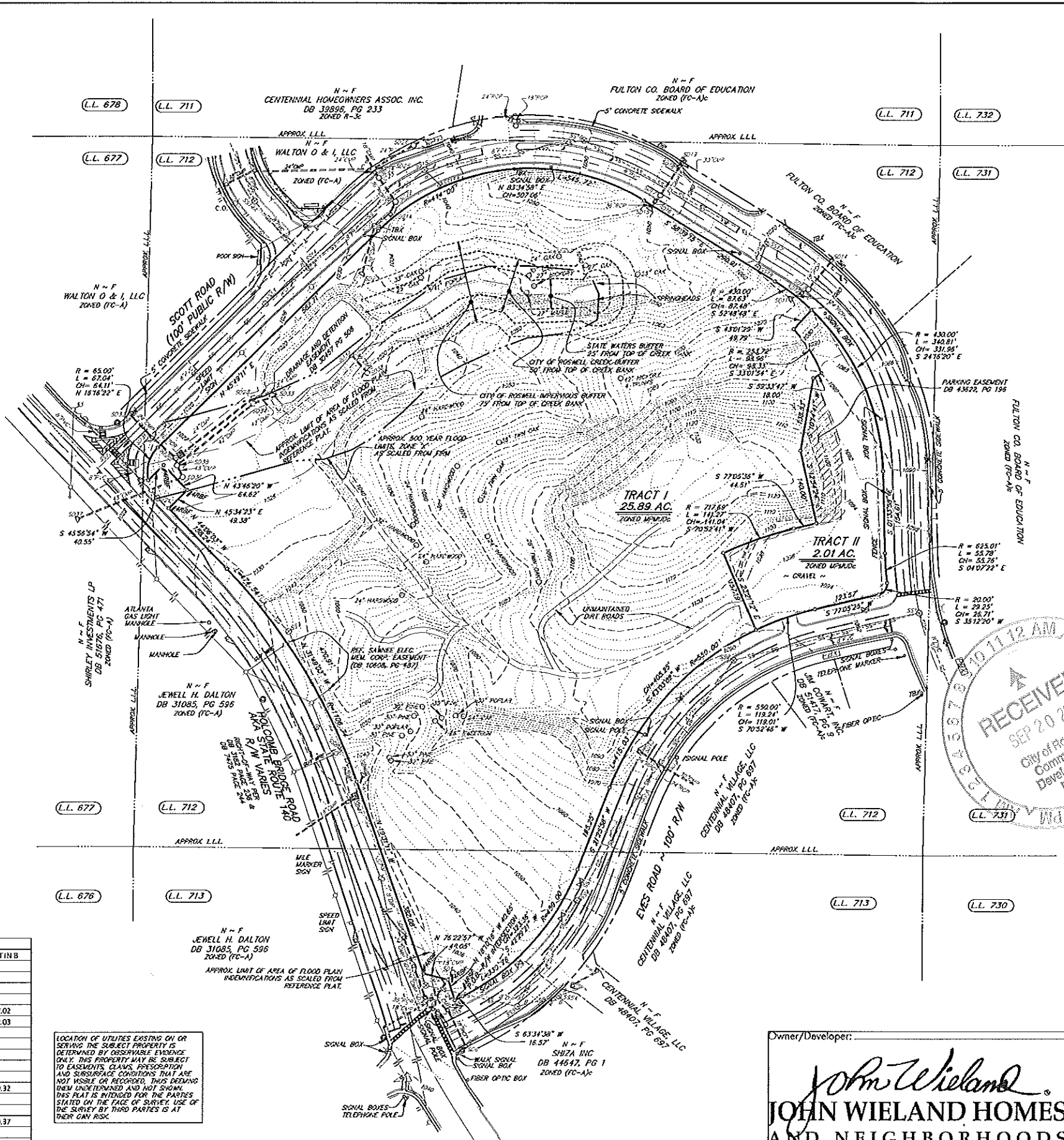
REFERENCE PLAT FOR PREPARATION OF SURVEY:  
ALTA/ACSM LAND TITLE SURVEY FOR GRIFFIN CENTENNIAL WALK PARTNERS, LLC, WICHITA PARK AND COMMUNITY TITLE INSURANCE COMPANY, PREPARED BY TRAVIS PRUITT AND ASSOCIATES, INC. DATED AUGUST 11, 2006.

PROPERTY ADDRESS: 2000 HOLCOMB BRIDGE ROAD, ROSWELL, GEORGIA

| SANITARY SEWER TABLE |         |            |               |             |
|----------------------|---------|------------|---------------|-------------|
| STRUCTURE            | TOP     | INVERT OUT | INVERT IN (A) | INVERT IN B |
| S51                  | 1094.18 | 1078.53    | 1078.76       |             |
| S52                  | 1086.92 | 1075.84    | 1075.92       |             |
| S53                  | 1068.80 | 1050.77    | 1050.79       |             |
| S54                  | 1050.05 | 1038.56    | 1038.73       |             |
| S55                  | 1036.92 | 1026.97    | 1027.02       | 1027.02     |
| S55A                 | 1041.23 | 1029.78    | 1029.92       | 1032.03     |
| S56                  | 1033.72 | 1024.77    | 1024.82       |             |
| S57                  | 1037.85 | 1024.56    | 1024.62       |             |
| S58                  | 1045.08 | 1022.63    | 1022.83       |             |
| S59                  | 1043.24 | 1020.82    | 1020.89       |             |
| S510                 | 1023.61 | 1010.06    | 1010.38       |             |
| S511                 | 1018.32 | 1009.25    | 1009.32       | 1009.32     |
| S512                 | 1017.58 | 1008.28    | 1008.43       |             |
| S513                 | 1014.48 | 1016.38    | 1016.58       |             |
| S514                 | 1027.17 | 1019.11    | 1019.17       | 1019.37     |
| S514A                | 1034.94 | 1020.59    | 1020.66       |             |
| S515                 | 1037.36 | 1025.91    | 1026.07       | 1026.16     |
| S515A                | 1039.11 | 1026.67    |               |             |
| S516                 | 1049.62 | 1041.47    | 1041.52       |             |
| S517                 | 1070.29 | 1068.94    | 1069.09       |             |
| S518                 | 1072.16 | 1069.51    |               |             |

LOCATION OF UTILITIES EXISTING ON OR SERVING THE SUBJECT PROPERTY IS DETERMINED BY OBSERVABLE EVIDENCE ONLY. THIS PROPERTY MAY BE SUBJECT TO EASEMENTS, CLAIMS, PRESCRIPTION AND SUBSURFACE CONDITIONS THAT ARE NOT VISIBLE OR RECORDED. THIS DRAWING IS UNDETERMINED AND NOT SHOWN. THIS PLAT IS INTENDED FOR THE PARTIES STATED ON THE FACE OF SURVEY. USE OF THE SURVEY BY THIRD PARTIES IS AT THEIR OWN RISK.

THIS PARCEL OF LAND IS NOT IN THE 100 YEAR FLOOD PLAIN AND IS IN ZONE \_\_\_\_ ACCORDING TO FEMA (F.I.A.) COMMUNITY NUMBER \_\_\_\_ MAP NUMBER \_\_\_\_ DATED \_\_\_\_



| STORM SEWER TABLE |         |         |            |            |                          |          |
|-------------------|---------|---------|------------|------------|--------------------------|----------|
| STRUCTURE         | TYPE    | TOP     | INVERT OUT | INVERT (A) | INVERT B                 | INVERT C |
| SD1               | JB      | 1032.79 | 1024.04    |            |                          |          |
| SD2               | JB      | 1033.18 | 1014.86    | 1023.55    | 1024.38                  | 1025.68  |
| SD3               | CBSW    | 1033.30 | 1024.79    | 1025.61    |                          |          |
| SD4               | DI      | 1037.78 | 1029.26    |            |                          |          |
| SD5               | CBSW    | 1034.03 | 1027.81    | 1028.18    |                          |          |
| SD6               | CBSW    | 1034.63 | 1029.18    |            |                          |          |
| SD7               | CBSW    | 1031.17 | 1026.31    | 1026.37    |                          |          |
| SD8               | CBSW    | 1033.58 | 1029.96    |            |                          |          |
| SD9               | CBSW    | 1074.09 | 1065.44    | 1065.91    |                          |          |
| SD10              | CBSW    | 1074.71 | 1067.76    |            |                          |          |
| SD11              | HW      |         | 1067.46    |            |                          |          |
| SD12              | CBSW    | 1076.68 | 1068.16    | 1068.63    |                          |          |
| SD13              | JB      | 1076.76 | 1068.88    | 1069.06    |                          |          |
| SD14              | CBSW    | 1077.44 | 1072.03    |            |                          |          |
| SD15              | HW      |         | 1046.84    |            |                          |          |
| SD16              | CBSW    | 1057.05 | 1047.35    | 1047.45    |                          |          |
| SD17              | JB      | 1056.69 | 1048.79    | 1050.09    |                          |          |
| SD18              | CBSW    | 1057.44 | 1051.04    | 1051.19    |                          |          |
| SD19              | DI      | 1056.77 | 1052.50    |            |                          |          |
| SD20              | HW      |         | 1025.62    |            |                          |          |
| SD20              | JB      | 1035.53 | 1026.28    | 1026.33    |                          |          |
| SD21A             | CBSW    | 1033.31 | 1025.70    | 1026.81    |                          |          |
| SD22              | JB      | 1033.81 | 1027.81    | 1027.91    |                          |          |
| SD23              | JB      | 1033.60 | 1028.50    | 1028.85    |                          |          |
| SD24              | CBSW    | 1034.06 | 1030.06    | 1030.11    |                          |          |
| SD25              | JB      | 1035.13 | 1023.83    | 1030.13    | 1030.23                  | 1030.03  |
| SD26              | JB      | 1039.65 | 1030.40    | 1030.55    |                          |          |
| SD27              | HW      |         | 1013.38    |            |                          |          |
| SD28              | WER     | 1023.07 | 1014.57    | 1014.67    |                          |          |
| SD29              | DI      | 1022.61 | 1018.53    |            |                          |          |
| SD30              | JB      | 1023.46 | 1000.49    |            |                          |          |
| SD31              | CBSW    | 1016.39 | 1001.79    | 1006.74    |                          |          |
| SD32              | CBSW    | 1017.10 | 1008.10    |            |                          |          |
| SD33              | OCB     | 1023.20 | 1009.06    | 1006.74    | SEE OCS DETAIL ON SURVEY |          |
| SD34              | JB      | 1023.85 | 1001.95    | 1002.00    |                          |          |
| SD35              | JB      | 1023.40 | 999.96     |            |                          |          |
| SD36              | JB      | 1024.33 | 997.73     |            |                          |          |
| SD37              | CULVERT |         | 990.07     |            |                          |          |
| SD38              | JB      | 1019.59 | 1014.29    |            |                          |          |
| SD39              | HW      |         | 1013.82    |            |                          |          |
| SD40              | HW      |         | 1035.76    |            |                          |          |
| SD41              | DI      | 1037.53 | 1028.03    | 1031.03    |                          |          |

THIS SURVEY WAS PREPARED IN CONFORMITY WITH THE TECHNICAL STANDARDS FOR PROPERTY SURVEYS IN GEORGIA AS SET FORTH IN CHAPTER 180-7 OF THE RULES OF THE GEORGIA BOARD OF REGISTRATION FOR PROFESSIONAL ENGINEERS AND LAND SURVEYORS AND AS SET FORTH IN THE GEORGIA PLAT ACT O.C.G.A. 15-6-67.



#### SURVEYOR REFERENCES:

CURRENT OWNER:  
WALTON CENTENNIAL WALK, LLC  
D.B. 49938, PG. 154



Owner/Developer:

**John Wieland Homes**  
AND NEIGHBORHOODS  
jwhomes.com  
4125 Atlanta Road SE • Smyrna, GA 30080  
24 Hour Contact: Jason Garrett 770.703.1646

THIS PLAT IS PREPARED FROM A FIELD SURVEY USING A FINE SECOND DIGITAL THEODOLITE AND ELECTRONIC DISTANCE METER. LINEAR PRECISION OF TRAVERSE: 1/38,400. ANGULAR ERROR: 4" PER POINT. THE TRAVERSE WAS ADJUSTED USING THE COMPASS RULE. LINEAR PRECISION OF THIS PLAT: 1/276,900. MATTERS OF TITLE ARE EXCEPTED.

|            |          |           |
|------------|----------|-----------|
| DATE       | 10-03-13 | REVISIONS |
| SCALE      | 1"=100'  |           |
| DRAWN BY   | DCO/JAH  |           |
| CHECKED BY | CAE      |           |
| FIELD BOOK |          |           |

**Gaskins**  
SURVEYING • SUBDIVISION • LAND PLANNING • ENVIRONMENTAL  
1158 Powder Springs Rd Marietta, Georgia 30066 Phone: (770) 424-7188 Fax: (770) 424-7192

TOPOGRAPHICAL & BOUNDARY RETRACEMENT SURVEY FOR:  
**JW HOMES, LLC**  
LOCATED IN L.L. 712 & 713  
1st DISTRICT,  
CITY OF ROSWELL,  
FULTON COUNTY, GA.

SHEET NUMBER  
**06**