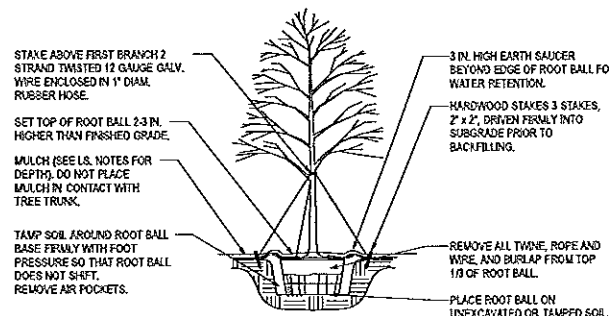


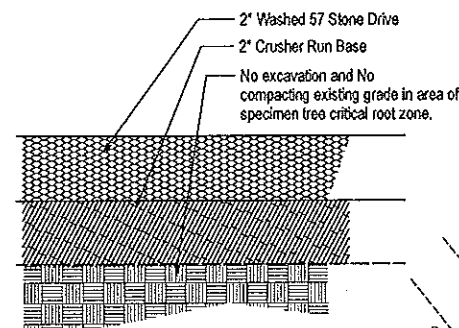
NOTE
1. HOLE TO BE TWICE THE SIZE OF THE ROOTBALL.

1 SCALE: NTS



NOTE
1. HOLE TO BE TWICE THE SIZE OF THE ROOTBALL.
2. DO NOT HEAVILY PRUNE THE TREE AT PLANTING. PRUNE ONLY CROSSOVER LIMBS, CO-DOMINANT LEADERS, AND BROKEN OR DEAD BRANCHES; HOWEVER, DO NOT REMOVE THE TERMINAL BUDS OF BRANCHES THAT EXTEND TO THE EDGE OF THE CROWN.
3. EACH TREE MUST BE PLANTED SUCH THAT THE TRUNK FLARE IS VISIBLE AT THE TOP OF THE ROOT BALL. TREES WHERE THE TRUNK FLARE IS NOT VISIBLE SHALL BE REJECTED. DO NOT COVER THE TOP OF THE ROOT BALL WITH SOIL.

2 TREE PLANTING
SCALE: NTS



DRIVE DETAIL WITHIN CRITICAL ROOT ZONE

EXISTING AREA OF STRUCTURE = 1443 SF
ADDITIONAL AREA ENCLOSING CARPORT = 500 SF

2" x 4" Wood stakes or rebar
@ 6' 0" on center
Orange polypropylene
tree protection fencing

3 TREE PROTECTION FENCING
SCALE: NTS

APPROX. CENTER LINE OF CREEK
PER FULTON COUNTY F.I.R.M.
MAP # 13121C0081E DATED JUNE 22, 1998

PLANT LIST

Qty	Botanical Name	Common Name	Scheduled Size	Remarks
2	Acer rubrum 'October Glory'	October Glory Red Maple	2" Cal.; 12-14 Hgt. x 6'-8" Spr	B & B
17	Azalea 'George L. Tabor'	George L. Tabor Azalea	3 Gal.; Full 15'-24"	
14	Azalea indica 'Mrs. G. G. Gerbing'	Mrs. G. G. Gerbing Azalea	3 Gal.; Full 15'-24"	
13	Ilex crenata 'Soft Touch'	Soft Touch Holly	3 Gal.	
8	Viburnum opulus	Cranberrybush Viburnum	2-3' Hgt.	
	Groundcovers			

Specimen Tree Viable Root Zone = 7021 SF
20% allowed impact in Critical Root Zone = 1404 SF
Actual Impact from drive and parking = 1381 SF or 19.7%

VICINITY MAP

LANDSCAPE NOTES

- Contractor responsible for locating and protecting all underground utilities prior to digging.
- Contractor responsible for protecting existing trees from damage during construction.
- Do not install weed barrier fabric in groundcover beds.
- Install 4 inches minimum depth of topsoil at planting beds and lawn areas; 12 inches minimum below trees. In locations with high clay content, apply gypsum additives to break down the clay.
- All shrubs beds (existing and new) to be mulched with a 3 inch minimum layer of shredded hardwood or pine straw mulch.
- All annual and perennial beds to be filled to a minimum depth of 18 inches and amended with 4 inches of organic material. Mulch planted annual and perennial beds with 4 inch depth of mini nuggets.
- Planting holes to be dug a minimum of twice the width and 6 inches deeper than the size of the root ball of both shrub and tree and to be amended with organic soil conditioner (e.g. Nature's Helper or Pro Mix). Backfill and tamp bottom of hole prior to planting so top of root ball does not settle below surrounding grade.
- Existing grass in proposed planting areas to be killed and removed and area to be hand tilled to remove all rocks and debris larger than 1 inch in diameter prior to placing shrubs.
- Any existing grass disturbed during construction to be fully removed, regraded and replaced. All fire marks and indicators to be repaired.
- Soil to be tested to determine fertilizer and lime requirements and distributed prior to laying sod.
- Sod to be delivered fresh (Cut less than 24 hours prior to arriving on site), laid immediately, rolled, and watered thoroughly immediately after planting. Edge of sod is to be trenched.
- All changes to design or plant substitutions are to be authorized by the Landscape Architect at Manley Land Design - 770.442.8171.
- Planting Mix to be 4 parts screened topsoil and 1 part organic material (e.g. Nature's Helper or Pro Mix).
- All landscaping shall be installed in conformance with ANSI Z60.1 the 'American Standard for Nursery Stock' and the accepted standards of the American Association of Nurserymen.
- The Landscape Contractor shall guarantee all plants installed for one full year from date of acceptance by the owner. All plants shall be alive and at a vigorous rate of growth at the end of the guarantee period. The Landscape Contractor shall not be responsible for acts of God or vandalism.
- Any plant that is determined dead, in an unhealthy or unsightly condition, lost its shape due to dead branches or other symptoms of poor, non-vigorous growth shall be replaced by the Landscape Contractor with the cost of the replacement included in the bid or proposal price.
- General Contractor to maintain all parking islands 6" - 10" wet clean topsoil.
- Prior to installation, the Landscape Contractor shall inspect the subgrade, general site conditions, verify elevations, utility locations, irrigation, approve layout provided by General Contractor and observe the site conditions under which the work is to be done. Notify General Contractor of any unsatisfactory conditions, and work shall not proceed until such conditions have been corrected and are acceptable to the Landscape Contractor.
- Stake all evergreen and deciduous trees.
- Remove all stakes and guying from all trees after one year from planting.
- Water thoroughly twice in first 24 hours and apply mulch immediately.
- The plant quantities are for the contractor's convenience; all numbers must be verified.
- Sites to be 100% irrigated in all planting beds and grass areas by an automatic underground irrigation system.
- All tree protection devices to be installed prior to the start of land disturbance, and maintained until final landscaping.
- All tree protection areas to be protected from sedimentation.
- All tree protection fencing to be inspected daily, and repaired or replaced as needed.
- No parking, storage or other construction activities are to occur within tree protection areas.

LANDSCAPE REQUIREMENTS

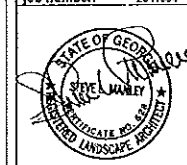
A. SITE DENSITY	
REQUIRED	1. 1.026 Aa @ 30 DU / Aa = 30.8 DU
PROVIDED	1. Existing Trees to remain
	24" Maple @ 6.6
	24" Maple @ 6.6
	32" Pine @ 7.8
	35" Oak @ 8.4
	38" Maple @ 0 removed due to storm damage
	TOTAL EXISTING 35.0 DU
2. Proposed Trees	0.5 = 1
2 - 2" Maple @	
TOTAL	37.0 DU
B. INTERIOR PARKING	
REQUIRED	1. 10% of parking to be landscape area
	2. Parking = 3471 SF @ 10% = 347 SF
	3. 2 Shade trees per 400 SF island
PROVIDED	1. 2 Maples
C. CRITICAL ROOT ZONE CALCULATION	
REQUIRED	1. Not more than 20% of the Viable root zone under the specimen trees can be impacted
PROVIDED	1. Viable Root Zone in CRZ = 7021 SF
	Gravel Drive Area in CRZ = 578 SF
	Concrete Drive Area in CRZ = 803 SF
	TOTAL = 1381 SF or 19.67%
D. LANDSCAPE STRIP BETWEEN BUILDINGS AND STREET ROW	
REQUIRED	1. 10' Landscape Strip
	2. 177 LF of Frontage @ 1 Shade Tree per 35 LF excluding drives = 5
	3. 177 LF of Frontage @ 10 Shrubs per 35 LF excluding drives = 50
	4. 70% of required shrubs are to be evergreen
PROVIDED	1. 10' Landscape Strip provided
	5 Existing Trees to remain
	3. Azalea 31
	Holly 13
	Viburnum 8
	Total Shrubs 52
	4. 65% of shrubs are Evergreen

PRIMARY PERMITTEE:
STEVE MANLEY
MANLEY LAND DESIGN
LANDSCAPE ARCHITECT
GA # 628
770-442-8171

Sobi Salon

50 Crossville Rd
Roswell, Ga
Land Lot #407
1st District, 2nd Section

date: 11.23.11
scale: 1"=20'-0"
drawn by: SLM
checked by: SLM
job number: 2011054

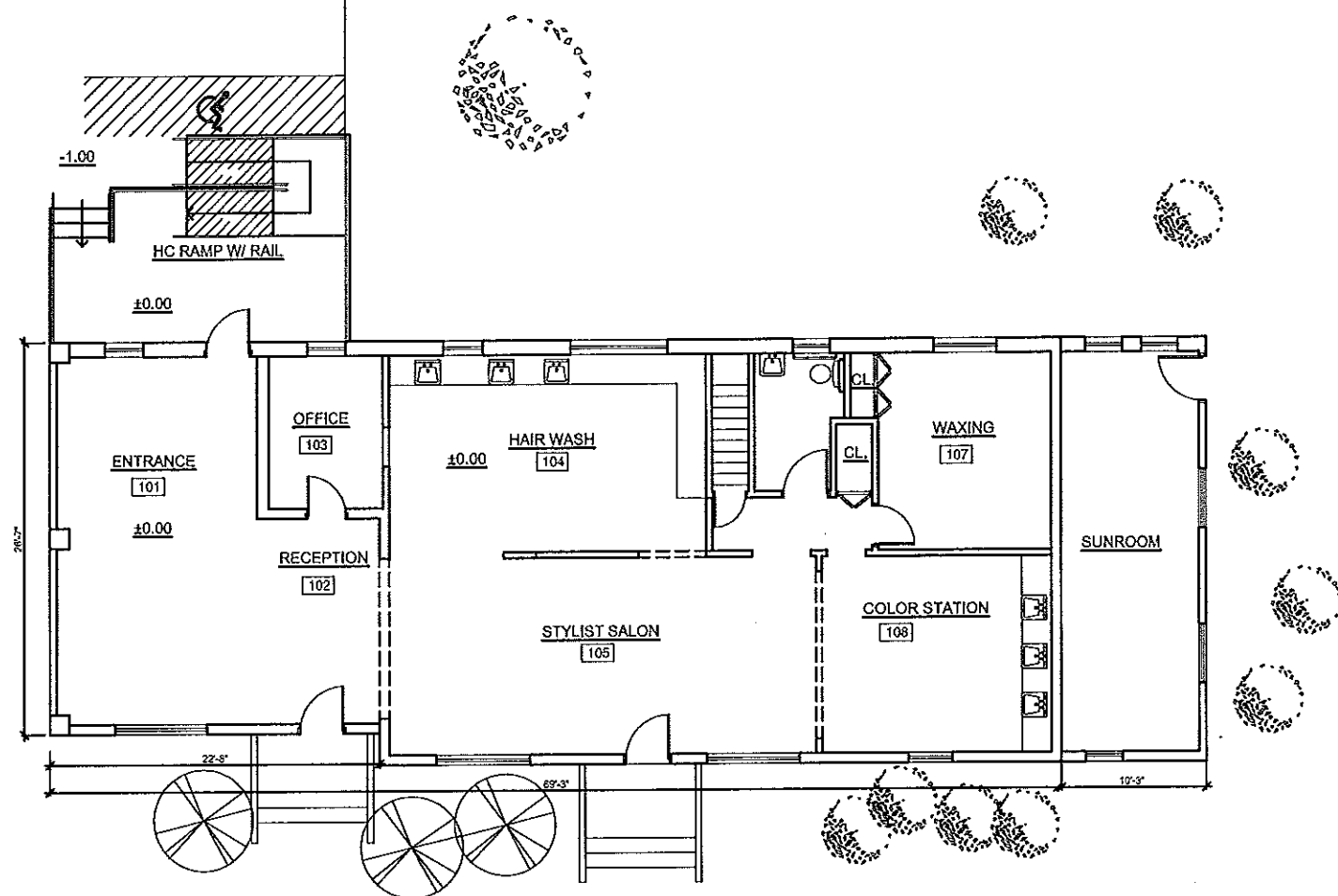


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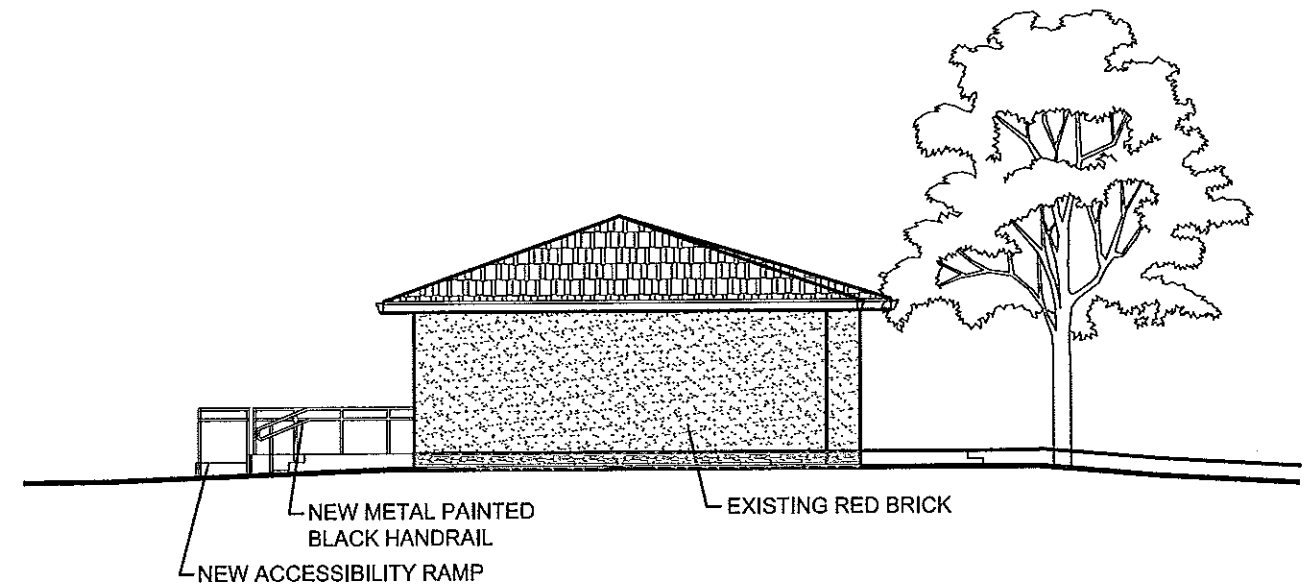
1	2.10.12	City Comments
2	3.30.12	Add Sobi Salon
3	4.12.12	Drive Detail Comments
4	8.22.12	Add SF Note
5		
6		
7		
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sheet title
**Site and
Landscape Plan**

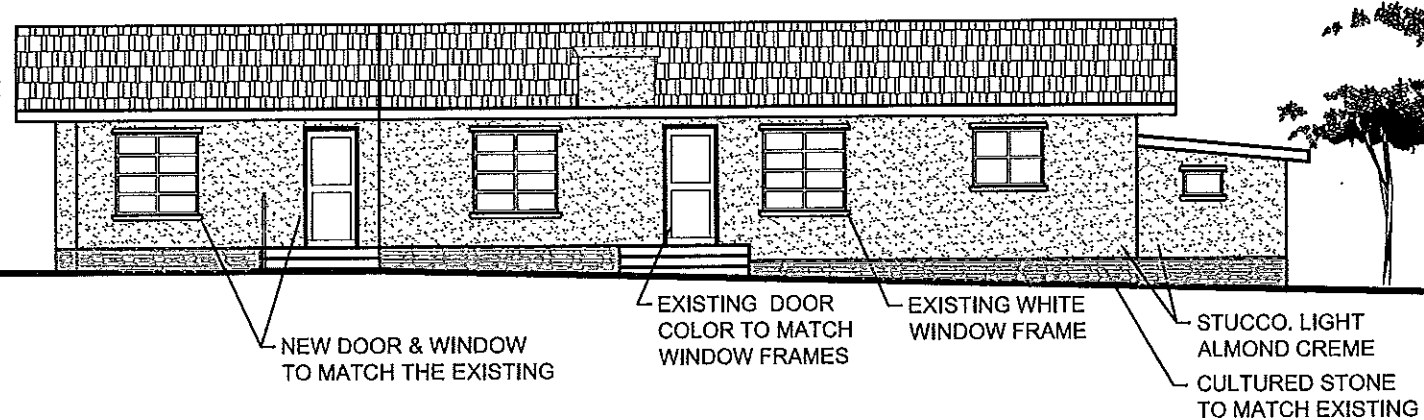
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NEW FLOOR PLAN



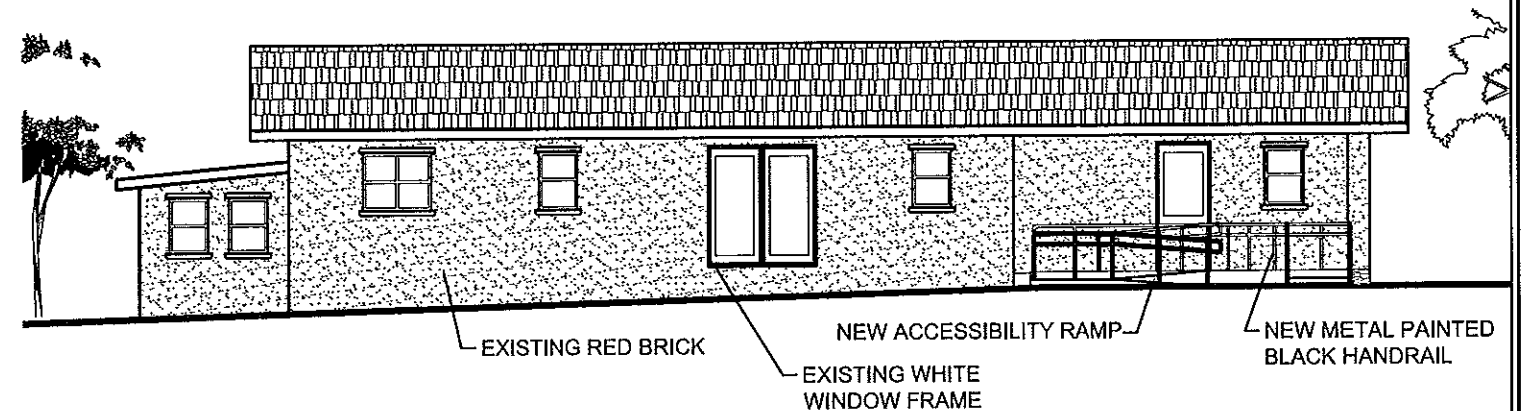
NEW SIDE ELEVATION



NEW FRONT ELEVATION

PROPOSED ELEVATIONS FOR SMALL TRACK REZONING

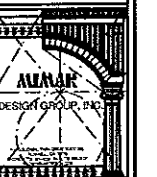
SOBI SALON 90 E. CROSSVILLE RD. ROSWELL- GEORGIA

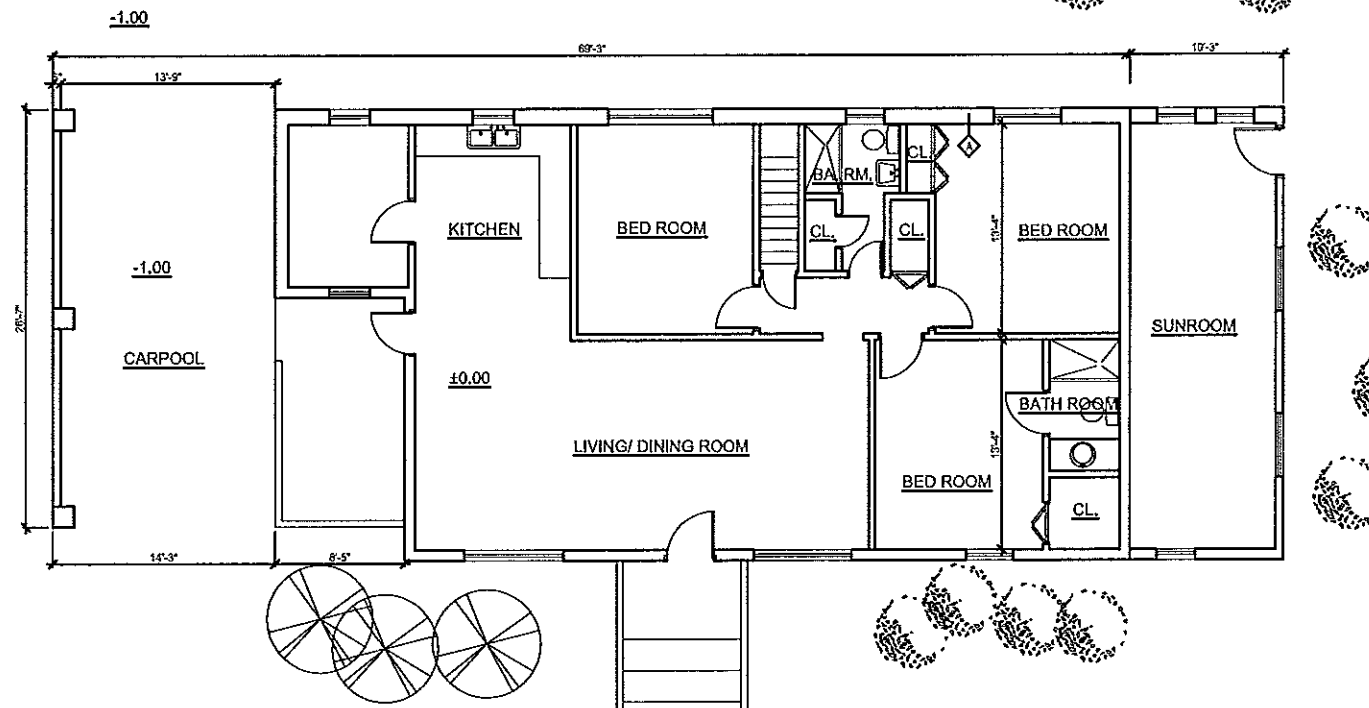


NEW REAR ELEVATION

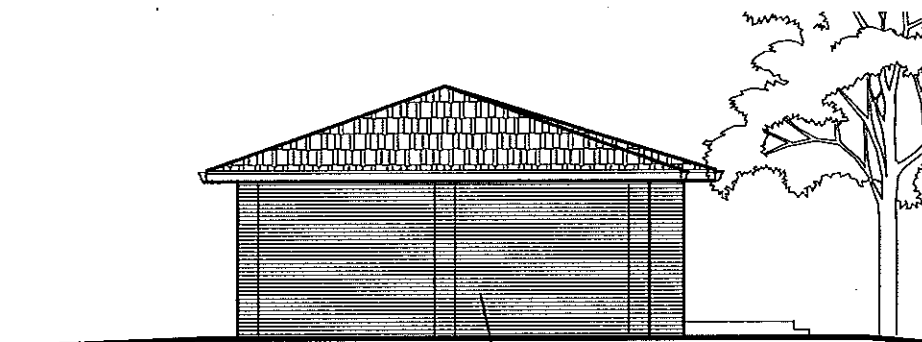
EXISTING AREA OF THE BUILDING = 1,443 S.F.
SUNROOM AREA (NO CHANGE)= 287 S.F.
CARPOOL AREA (TO BE ENCLOSED)= 500 S.F.

08-22-12

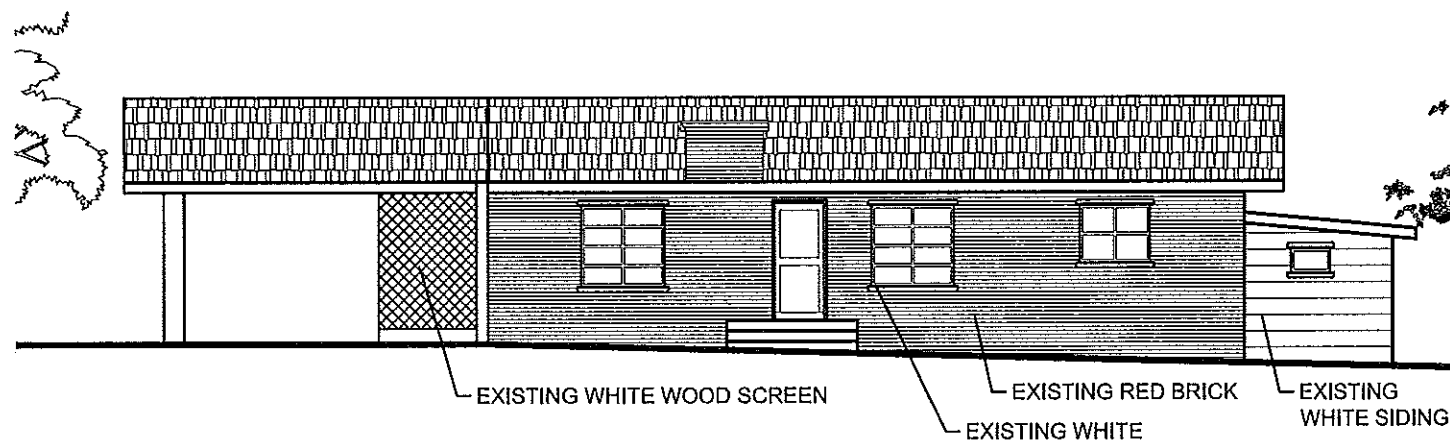




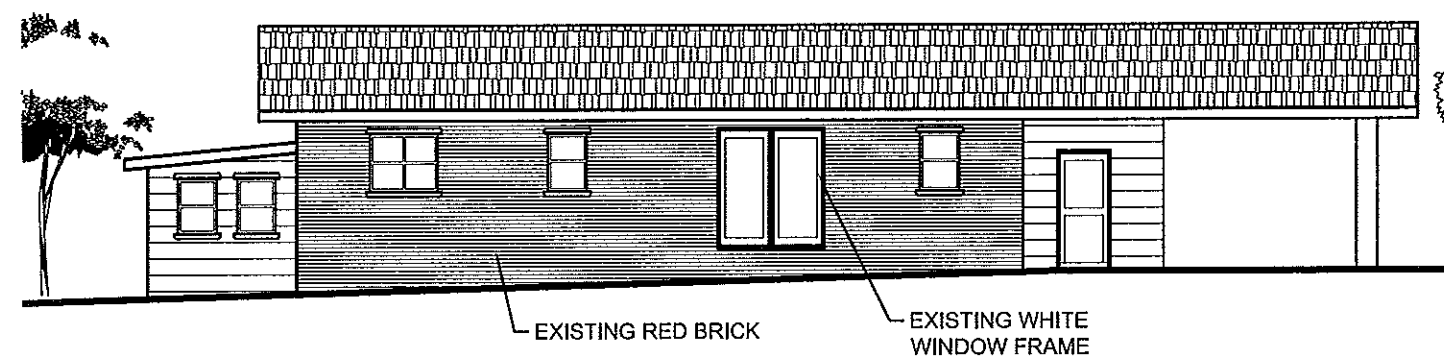
EXISTING FLOOR PLAN



EXISTING RED BRICK
EXISTING SIDE ELEVATION



EXISTING FRONT ELEVATION



EXISTING REAR ELEVATION

THE SOBI SALON 90 E. CROSSVILLE RD. ROSWELL- GEORGIA

08-22-12

