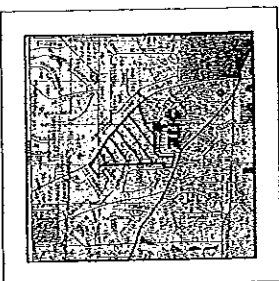


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FEB - 1 2011
City of Roswell
Community
Development
Dept.

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BUILDING AND PARKING DATA SUMMARY	
TRACT #, AREA, 1861 DOWNS BLVD., 51.0 Acres	
TOTAL # OF BUILDING, 10	
TOTAL # OF PARKING SPACES, 1120	
GROUP # & OF BUILDING	1120.00 S.F.
1) CONVENT OF MARIAGE	478 S.F.
2) CHURCH OF GOD	27 S.F.
3) CHURCH OF GOD	488 S.F.
4) CHURCH OF GOD	488 S.F.
5) CHURCH OF GOD	428 M.S.F.
DENSITY OF PROJECT	22.00 S.F./AC.



LOCATION MAP.

TRACT AREA
2,057,373.85 SQ. FT
61.0030 ACRES

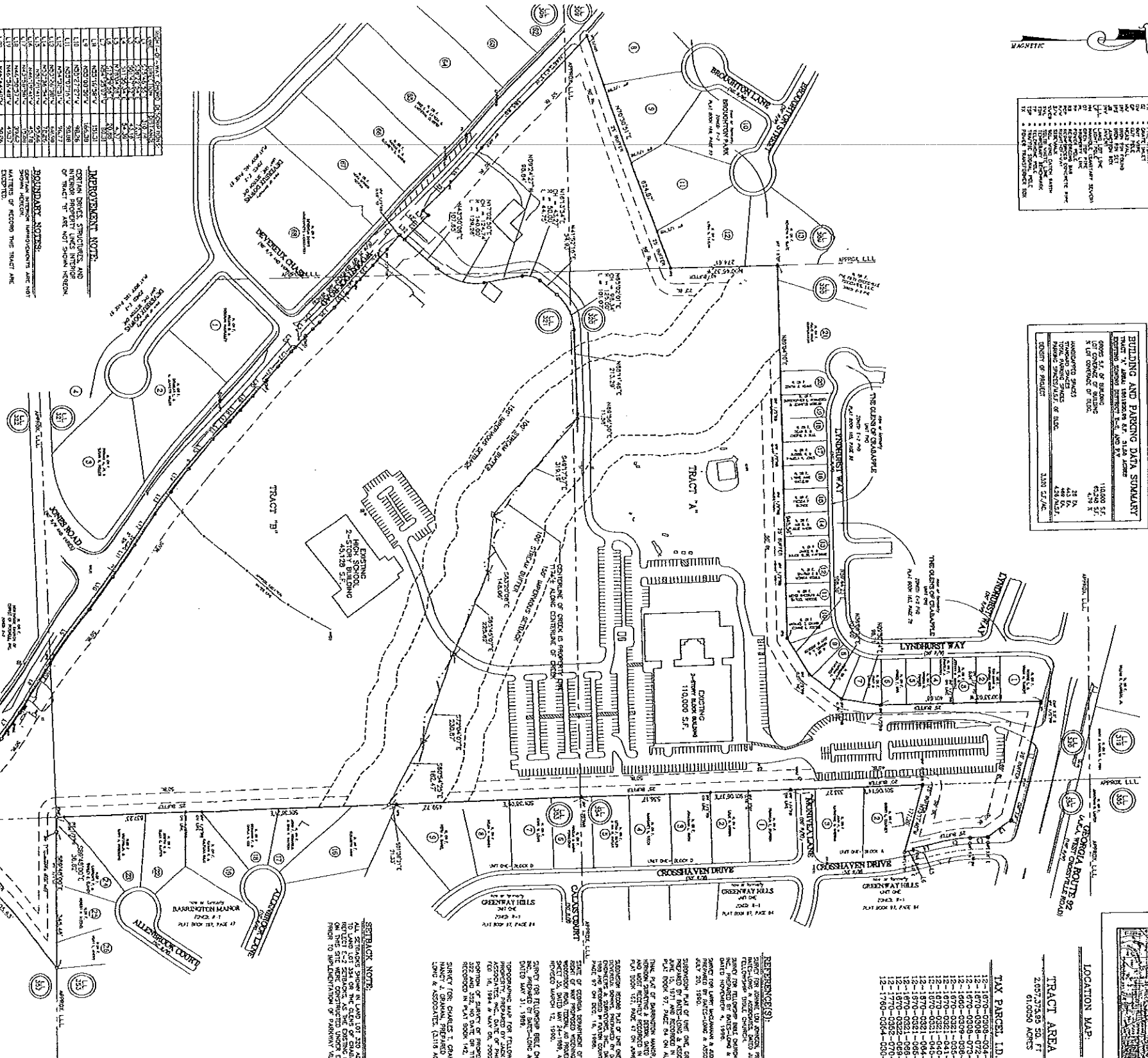
[illegible]

REFERENCE(S)

[illegible]

SETBACK NOTE
The author, James MacFarland, died in 1981.

ALL SETBACKS SHOWN IN LAND LOT 320 ADJACENT TO LAND LOT 334 OR THE CLIENTS OF CHANAPALLE REFLECT E-2 SETBACKS, AS THE EXISTING IMPROVEMENTS ON THIS SITE WERE CONSTRUCTED UNDER E-2 ZONING AND PRIOR TO IMPLEMENTATION OF PARKWAY VILLAGE DISTRICT.

[illegible]

IMPROVEMENT NOTE:
CERTAIN DRIVES, STRUCTURES, AND
INTERIOR PROPERTY LINES INTERIOR
OF TRACT "B" ARE NOT SHOWN HEREON.

NOTE:
CERTAIN UNDERGROUND UTILITIES THIS TRACT (I.E. WATER, NATURAL GAS, ELECTRICITY, TELEPHONE ETC.) AND/OR THEIR APPURTENANCES ARE NOT SHOWN HEREON.

HOPKINS - LUTV COURSE OF DISPOSITIONS				
DATE	REASON	LENGTH	CHORD	REMARKS
01	400.00	0/10	00.00	500.00 S 1/4 E
02	114.41	0/15	0/14	N 51/2 S 40 W
03	114.41	200.00	100.00	N 45/2 S 50 W

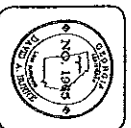
BUILDING AND PARKING DATA SUMMARY
TRACT "D" AREA 100A.100 S.F. 39,70 ACRES

FLOOD HAZARD NOTE:
A PORTION OF THIS PROPERTY IS WITHIN THE
LIMITS OF A FLOOD HAZARD ZONE AS DETERMINED
BY THE FEDERAL CATERGOGED MANAGED BY
THE CITY OF ROSELAND, FLORENCE COUNTY,
GA. (COMMUNITY PLAN NO. 1312100042 E)
MOST RECENTLY REVISED JUNE 22, 1986.
FLOOD HAZARD ZONE "X" AND "AE" ARE NOT
SHOWN HEREON.

PRECISION OF SURVEY

THIS PLAY HAS BEEN CALCULATED FOR 2,029.48 AND IS FOUND TO BE ACCURATE WITH ONE FOOT IN 1,080,750 FEET.

02-2741
PROJECT NAME
1 5 1

[illegible]

BOUNDARY, TOPOGRAPHIC, AND AS-BUILT SURVEY
FOR:
FELLOWSHIP BIBLE CHURCH
OF ROSWELL, INC.

DAVID A. BURRE
ENGINEERS & SURVEYORS, INC.
11660 ALPHARETTA HWY. SUITE 100
ROSWELL GEORGIA 30076 (770)442-0500