

LEGEND

- EXIST. POWER POLE
- EXIST. POWER POLE W/GUY WIRE
- EXIST. LIGHT STANDARD
- EXIST. ELECTRIC BOX or TRANSFORMER
- EXIST. WATER METER
- EXIST. WATER VALVE
- EXIST. UNKNOWN UTILITY STRUCTURE
- EXIST. TELEPHONE MONUMENT
- EXIST. TELEPHONE BOX
- EXIST. GAS METER
- EXIST. GAS VALVE
- EXIST. SANITARY SEWER MANHOLE
- EXIST. CLEAN OUT
- EXIST. JUNCTION BOX/STORM SEWER MANHOLE
- EXIST. CATCH BASIN
- EXIST. DROP INLET
- EXIST. STORM SEWER LINE
- EXIST. FLARED END SECTION
- EXIST. YARD INLET
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- APPROX. LOCATION UNDERGROUND TELEPHONE LINE
- UT
- APPROX. LOCATION UNDERGROUND GAS LINE
- W
- APPROX. LOCATION UNDERGROUND WATER LINE
- CHW
- APPROX. LOCATION CHILLED WATER LINE
- STM
- APPROX. LOCATION STEAM WATER LINE
- X
- EXIST. FENCE LINE (AS NOTED)
- EXIST. SIGN (AS NOTED)
- EXIST. TREE (AS NOTED)
- TEMPORARY BENCHMARK (TBM)
- CONCRETE MONUMENT FOUND
- PROPERTY CORNER
- FIELD LOCATED PIN (AS NOTED)
- EXIST. SPOT ELEVATION
- EXIST. CONTOUR ELEVATION
- IPS
- P.O.B.
- R/W
- N/F
- BSL
- D.B.
- PG
- TC
- BC
- RC
- CMP
- PVC
- DIP
- HDPE
- INV.
- TH
- CONC.
- C&G
- NEW SANITARY SEWER LINE
- NEW CHILLED WATER LINE
- NEW STEAM WATER LINE
- NEW FIRE LINE
- NEW WATER LINE
- NEW GAS LINE
- NEW STORM SEWER
- NEW GATE VALVE
- NEW FIRE HYDRANT
- NEW DROP INLET
- NEW HEADWALL
- NEW CATCH BASIN
- NEW MANHOLE
- NEW CLEANOUT
- NEW SPOT ELEVATION
- NEW CONTOUR
- NEW NUMBER OF PARKING SPACES
- STORM STRUCTURE IDENTIFICATION
- SANITARY STRUCTURE IDENTIFICATION
- NEW CONCRETE SIDEWALK
- NEW CONCRETE PAVEMENT
- STRUCTURES/ITEMS TO BE REMOVED
- TRAFFIC DIRECTION ARROWS (FOR INFORMATION ONLY)
- SPECIMEN TREE
- SPECIMEN TREE TO BE REMOVED

TRANSPORTATION NOTES:

1. DRIVEWAYS ARE NOT TO BE INSTALLED CLOSER THAN 10 FEET TO A CATCH BASIN MEASURED ALONG THE CUTTER LINE FROM THE CENTERLINE OF THE CATCH BASIN TO THE NEAREST EDGE OF THE DRIVEWAY (EXTENDED). NO CATCH BASINS WILL BE ALLOWED WITHIN THE DRIVEWAY TURNING RADIUS.

ENGINEERING NOTES:

1. SEE APPROVED STEEP SLOPE ANALYSIS REPORT BY TRAVIS PRUITT & ASSOCIATES, DATED AUGUST 4, 2014, FOR DELINEATION OF STEEP SLOPE BUFFER LOCATION.
2. AREAS REQUIRING ADDITIONAL EROSION CONTROL PROTECTION ARE DELINEATED ON THE APPROVED STEEP SLOPE ANALYSIS PLAN.
3. SIGHT DISTANCE AND NO ACCESS EASEMENTS MAY BE REQUIRED AT FINAL PLAT.

SURVEY NOTES:

1. THE FIELD DATA UPON WHICH THIS SURVEY IS BASED HAS A CLOSURE PRECISION OF ONE FOOT IN 11 FEET, AND AN ANGULAR ERROR OF 98.396" PER ANGLE POINT, AND WAS ADJUSTED USING THE LEAST SQUARES METHOD.
2. ANGULAR AND LINEAR MEASUREMENTS WERE MADE USING A TRIMBLE 5603 ROBOTIC TOTAL STATION. A PORTION OF THIS SURVEY WAS PERFORMED USING TRIMBLE R8 GPS RECEIVERS WITH NETWORK ADJUSTED REAL TIME KINEMATIC MEASUREMENTS REFERENCED TO THE FGPS NETWORK. THE GPS SURVEY INCLUDED REDUNDANT MEASUREMENTS WITH POSITIONAL ACCURACY BETTER THAN 0.07'.
3. THIS MAP OR PLAT HAS BEEN CALCULATED FOR CLOSURE AND IS FOUND TO BE ACCURATE WITHIN ONE FOOT IN 197.21 FEET.

UTILITY PROVIDERS:

1. WATER: FULTON COUNTY WATER.
2. SANITARY SEWER: GRAVITY FLOW BY FULTON COUNTY.
3. ELECTRICITY: GEORGIA POWER.
4. STORM SEWER: CITY OF ROSWELL.

DRAINAGE NOTE:

THE OWNER OF RECORD, ON BEHALF OF HIMSELF/HERSELF/ITSELF AND ALL SUCCESSORS IN INTEREST, SPECIFICALLY RELEASES THE CITY OF ROSWELL FROM ANY AND ALL LIABILITY AND RESPONSIBILITY FOR FLOODING OR EROSION FROM STORM DRAINS OR FROM FLOODING FROM HIGH WATER OF NATURAL CREEKS, RIVERS OR DRAINAGE FEATURES. DRAINAGE EASEMENTS ARE HEREBY ESTABLISHED FOR THE SOLE PRELIMINARY SUBDIVISION PLAT SPECIFICATIONS PURPOSE OF PROVIDING FOR THE EMERGENCY PROTECTION OF THE FREE FLOW OF SURFACE OR STORM WATERS ALONG ALL WATERCOURSES AS ESTABLISHED BY A FINAL PLAT. THE CITY OF ROSWELL MAY CONDUCT EMERGENCY MAINTENANCE OPERATIONS WITHIN THESE EASEMENTS, WHERE EMERGENCY CONDITIONS EXIST. EMERGENCY MAINTENANCE SHALL INCLUDE THE REMOVAL OF TREES AND OTHER DEBRIS, EXCAVATION, FILLING, AND THE LIKE NECESSARY TO REMEDY A CONDITION, WHICH IN THE JUDGEMENT OF THE CITY OF ROSWELL IS POTENTIALLY INJURIOUS TO HEALTH, LIFE, PUBLIC PROPERTY, PUBLIC ROADS, OR UTILITY SYSTEMS. SUCH EMERGENCY MAINTENANCE, CONDUCTED FOR THE COMMON GOOD, SHALL NOT BE CONSTRUED AS CONSTITUTING A CONTINUING MAINTENANCE OBLIGATION ON THE PART OF THE CITY OF ROSWELL. THE CITY RESERVES THE RIGHT TO SEEK REIMBURSEMENT FOR EXPENSES FROM THE OWNER(S) OF THE PROPERTY(IES) OF THE LAND THAT GENERATED THE CONDITIONS REQUIRING THE EMERGENCY SERVICE.

TAX PARCEL ID: 12-244006190051 & 12-256006260072

SITE SUMMARY:

TOTAL SITE AREA: 19.78 ACRES
LOT AREA: 14.38 ACRES
OPEN SPACE AREA: 2.71 ACRES
PROPOSED R/W AREA: 2.69 ACRES

SITE ZONING: RS-30

LOT SUMMARY:

PROPOSED NUMBER OF LOTS: 17
MINIMUM LOT SIZE: 30,000 S.F.
MINIMUM LOT WIDTH AT BUILDING LINE: 120 FEET

SETBACK LINES:

FRONT YARD: 50 FEET
SIDE YARD: 15 FEET
SIDE YARD CORNER LOT: 30 FEET
REAR YARD: 40 FEET

PROJECT DESCRIPTION:

17 LOT DETACHED RESIDENTIAL SUBDIVISION.

OWNER

JACK A SPIELBERG

P.O. BOX 20306
ATLANTA, GA 30325

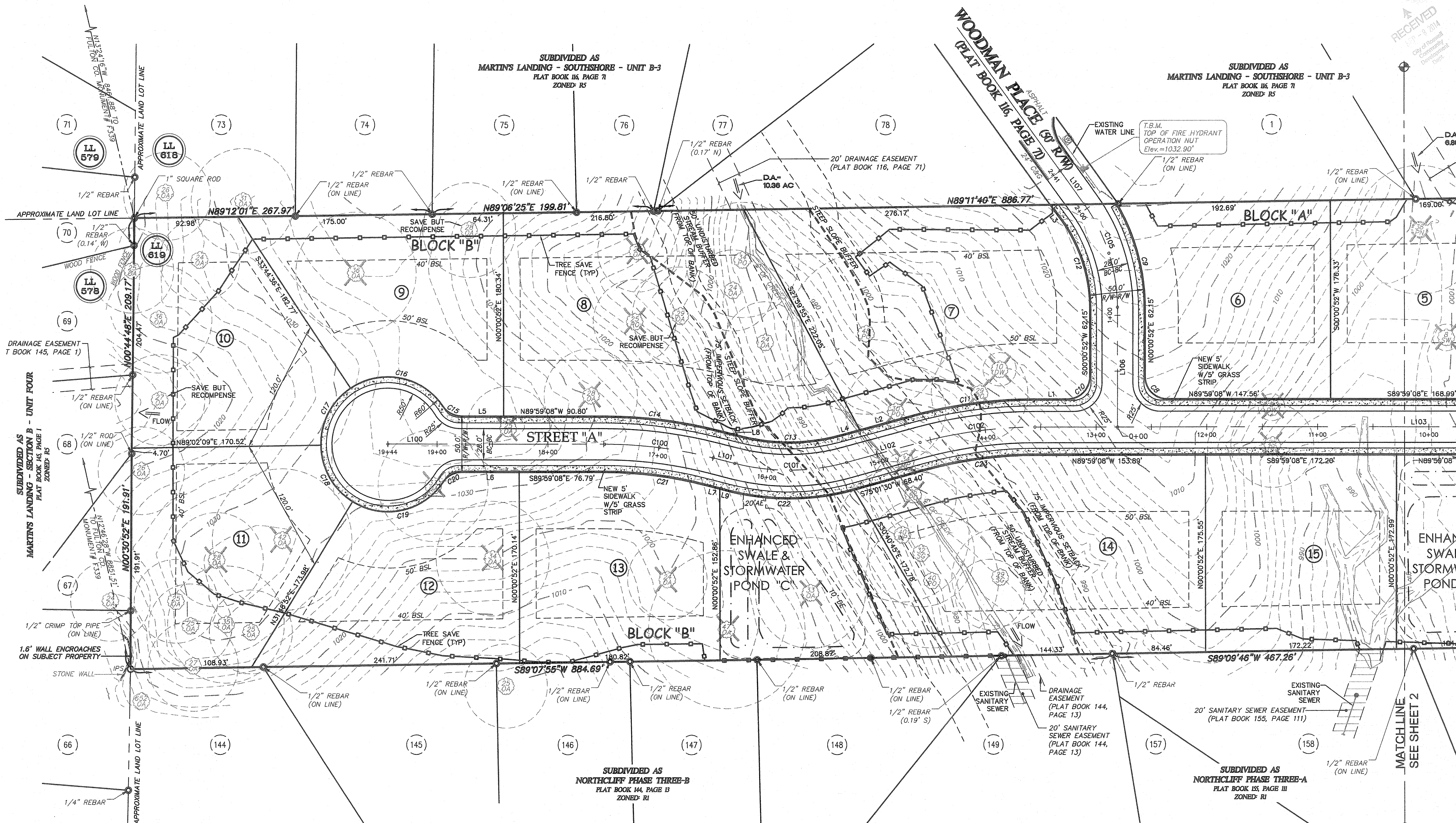
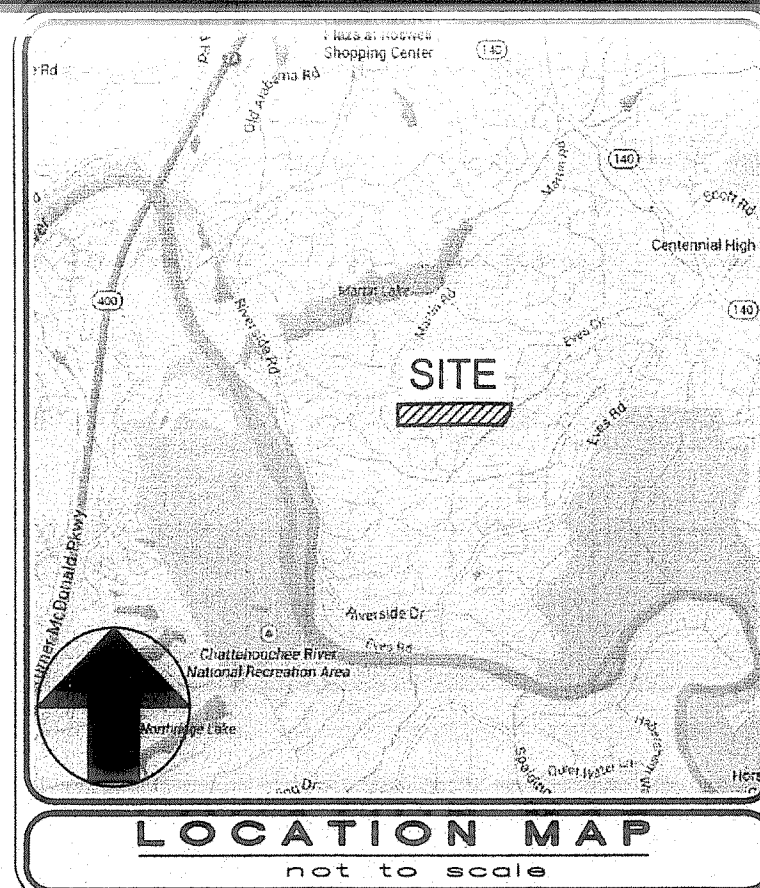
DEVELOPER

PEACHTREE RESIDENTIAL PROPERTIES

7380 MCGINNIS FERRY RD
SUWANEE, GA 30024
(770) 622-2522

24 HOUR EMERGENCY CONTACT
MR. ALEC RICKENBAKER
(404) 597-1759

TPA



THERE ARE NO WETLANDS ON THE SITE.

FLOOD HAZARD NOTE:
This property does not lie within a 100 year flood hazard zone as defined by the F.E.M.A. Flood Insurance Rate Map of FULTON County Community Panel Number 1312C0152G and 1312C0156G dated SEPTEMBER 18, 2013.

Information regarding the required presence, size, character and location of existing underground utilities and structures is shown herein. There is no certainty of the accuracy of this information and it shall be considered in that light by those using this drawing. The location and arrangement of underground utilities and structures shown hereon may be inaccurate and utilities and structures not shown may be present. The owner, engineer, and contractor shall verify the location and arrangement of all underground utilities and structures prior to construction. The contractor shall verify the location and arrangement of all underground utilities and structures prior to construction. The contractor shall verify the location and arrangement of all underground utilities and structures prior to construction.

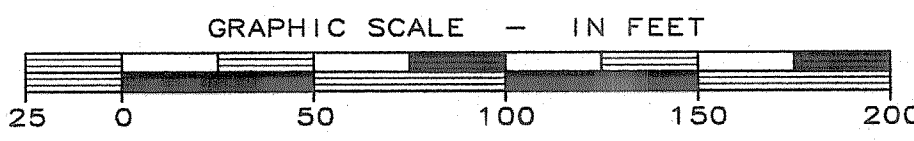
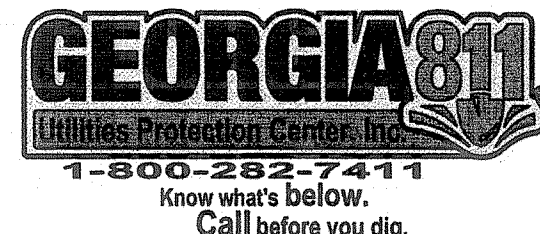
THERE ARE STATE WATERS WITHIN 200 FEET OF THE SITE.

NOTE: CONTRACTOR SHALL VERIFY THE LOCATION OF ALL UTILITIES. CONTRACTOR SHALL HAVE ALL UTILITIES FLAGGED WITH INVERT ELEVATIONS PRIOR TO CONSTRUCTION. NOTIFY ENGINEER OF ALL DISCREPANCIES ADDITIONAL UTILITIES ENCOUNTERED.

NOTE: ALL DIMENSIONS ARE TO BACK OF CURB, UNLESS OTHERWISE NOTED.

NOTE: ALL PIPE LENGTHS ARE SCALED LENGTHS FROM CENTER OF STRUCTURE. CONTRACTOR SHALL VERIFY PRIOR TO ORDERING PIPE.

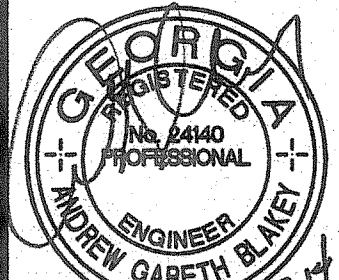
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PRELIMINARY PLAT FOR:

WINDBAIRE PHASE 3

LAND LOTS 619 & 626, 1ST DISTRICT, 2ND SECTION, CITY OF ROSWELL, FULTON COUNTY, GEORGIA



For The Firm
Travis Pruitt & Associates, Inc.

DATE: 06-26-14
SCALE: 1" = 50'
CN: 140042PM
LSV: 140042PM - BIT
JN: 1-14-0042
FN: 157-D-163

Sheet No. 1 OF 2

LEGEND

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CONCRETE MONUMENT FOUND
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EXIST. CONTOUR ELEVATION
IRON PIN SET (1/2" REBAR)
IPS
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N/F
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TRAFFIC DIRECTION ARROWS
(FOR INFORMATION ONLY)
SPECIMEN TREE
SPECIMEN TREE TO BE REMOVED

GEORGIA 811
Utilities Protection Center
1-800-232-7411
Know what's below.
Call before you dig.

Curve Table

Curve #	Radius	Length	Chord Length	Chord Direction
C1	20.00'	32.37'	28.95'	N79° 58' 53"E
C2	325.00'	150.34'	149.00'	S66° 53' 55"E
C3	290.00'	121.07'	120.19'	N16° 48' 09"E
C4	959.81'	81.19'	81.17'	N31° 11' 09"E
C5	325.00'	100.30'	99.91'	N88° 59' 31"W
C6	1475.00'	58.97'	58.97'	S83° 18' 43"W
C7	1475.00'	143.01'	143.01'	N87° 14' 09"E
C8	20.00'	31.42'	28.28'	N44° 58' 08"W
C9	179.00'	95.95'	94.81'	N15° 20' 32"W
C10	20.00'	31.42'	28.28'	S45° 00' 52"W
C11	425.00'	111.19'	110.87'	S82° 31' 11"W
C12	129.00'	81.55'	80.20'	S18° 05' 46"E
C13	175.00'	89.13'	88.17'	S89° 38' 59"W
C14	425.00'	105.28'	105.01'	N82° 53' 20"W
C15	20.00'	19.47'	18.71'	N62° 06' 00"W
C16	60.00'	93.75'	84.50'	N78° 58' 44"W

Curve Table

Curve #	Radius	Length	Chord Length	Chord Direction
C17	60.00'	59.92'	57.46'	S27° 38' 46"W
C18	60.00'	59.92'	57.46'	S29° 34' 28"E
C19	60.00'	91.71'	83.04'	N78° 01' 46"E
C20	20.00'	19.47'	18.71'	N62° 07' 44"E
C21	375.00'	92.90'	92.66'	S82° 53' 20"E
C22	225.00'	114.60'	113.37'	N89° 36' 59"E
C23	375.00'	98.11'	97.83'	S82° 31' 11"W
C24	1525.00'	41.53'	41.53'	S89° 14' 02"W
C25	1525.00'	167.34'	167.26'	N85° 18' 37"E
C26	275.00'	212.08'	206.87'	S75° 44' 24"E
C27	20.00'	32.37'	28.95'	S7° 16' 27"E

Line Table

Line #	Direction	Length
L1	N89°59'08"W	29.49'
L2	N75°01'30"E	49.55'
L3	S36°12'23"E	17.77'
L4	S75°01'30"W	18.85'
L5	N89°59'08"W	38.23'
L6	S89°59'08"E	52.24'
L7	S75°47'31"E	12.43'
L8	N75°47'31"W	19.98'
L9	S75°47'31"E	7.55'

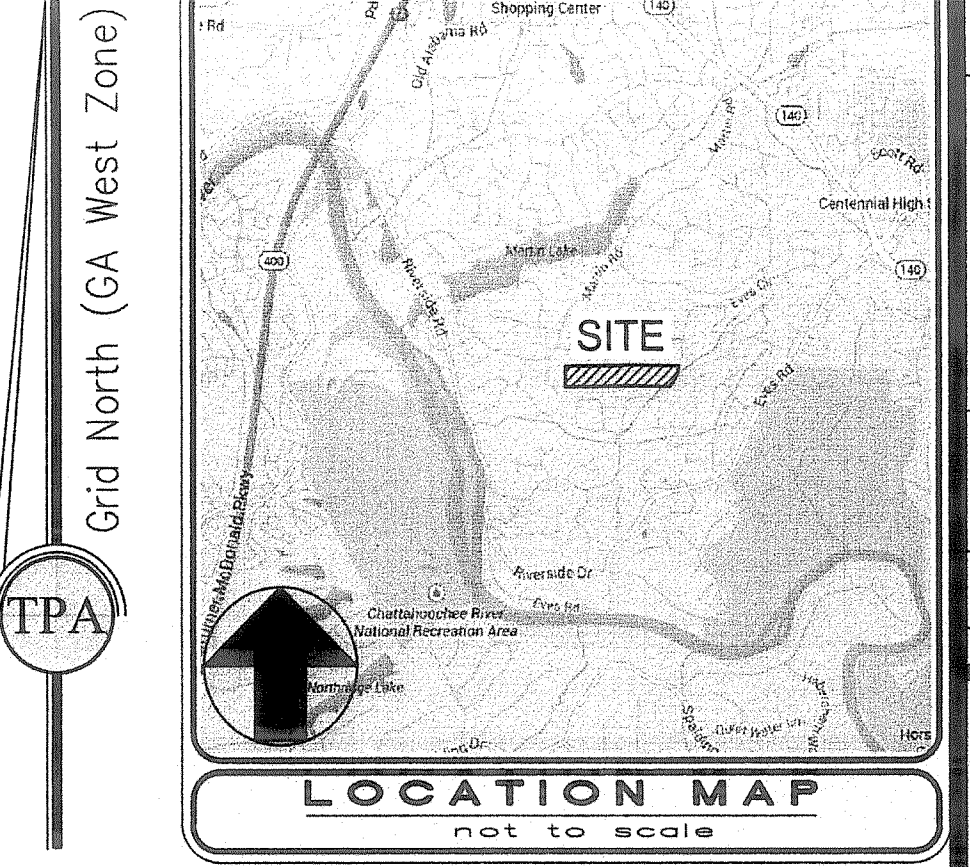
CENTERLINE ROAD LINE AND CURVE TABLE

NUMBER	STREET	START STA.	END STA.	RADIUS	ARC	CHORD DIRECTION	CHORD LENGTH
C100	STREET A	16+50.01	17+49.10	400.00'	99.09'	N82°53'20"W	98.84'
C101	STREET A	15+28.16	16+30.03	200.00'	101.87'	S89°36'59"W	100.77'
C102	STREET A	13+55.12	14+59.78	400.82'	104.65'	S82°31'11"W	104.35'
C103	STREET A	4+57.25	6+62.71	1500.00'	205.46'	S86°05'26"W	205.30'
C104	STREET A	1+67.45	3+98.82	300.00'	231.36'	N75°44'24"W	225.67'
C105	WOODMAN PLACE	1+07.15	2+04.51	154.00'	97.36'	N18°05'46"W	95.74'
C106	EYES CIRCLE	2+49.99	4+92.42	989.65'	242.43'	S35°46'48"W	241.83'
C107	EYES CIRCLE	1+16.40	2+49.99	320.00'	133.59'	S16°48'09"W	132.63'
L100	STREET A	17+49.10	19+44.27			N89°59'08"W	195.17'
L101	STREET A	16+30.03	16+50.01			N75°47'31"W	19.98'
L102	STREET A	14+59.78	15+28.16			S75°01'30"W	68.40'
L103	STREET A	6+62.71	13+55.12			N89°59'08"W	692.41'
L104	STREET A	3+98.82	4+57.25			S82°10'00"W	58.43'
L105	STREET A	0+00.00	1+67.45			N53°38'47"W	167.45'
L106	WOODMAN PLACE	0+00.00	1+07.15			N0°00'52"E	107.15'
L107	WOODMAN PLACE	2+04.51	2+41.18			N36°12'23"W	36.68'
L108	EYES CIRCLE	0+00.00	1+16.40			S4°50'33"W	116.40'

OWNER
JACK A SPIELBERG
P.O. BOX 20306
ATLANTA, GA 30325

DEVELOPER
PEACHTREE RESIDENTIAL PROPERTIES
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(404) 597-1759



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Norcross, Georgia 30093
Phone: (770) 416-7511
Fax: (770) 416-6759
www.travispruit.com
Contact Person: ANDREW BLAKE

REVISIONS

NO.	DATE	DESCRIPTION
1	8/27/14	CITY COMMENTS
2		
3		
4		
5		

PRELIMINARY PLAT FOR:
WINDFAIRE PHASE 3
LAND LOTS 619 & 626, 1ST DISTRICT, 2ND SECTION, CITY OF ROSWELL, FULTON COUNTY, GEORGIA

Travis Pruitt & Associates, Inc.
Professional Engineer
No. 2449
Professional Seal
ANDREW GARETH BLAKE
CP 1894

For The Firm
Travis Pruitt & Associates, Inc.
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