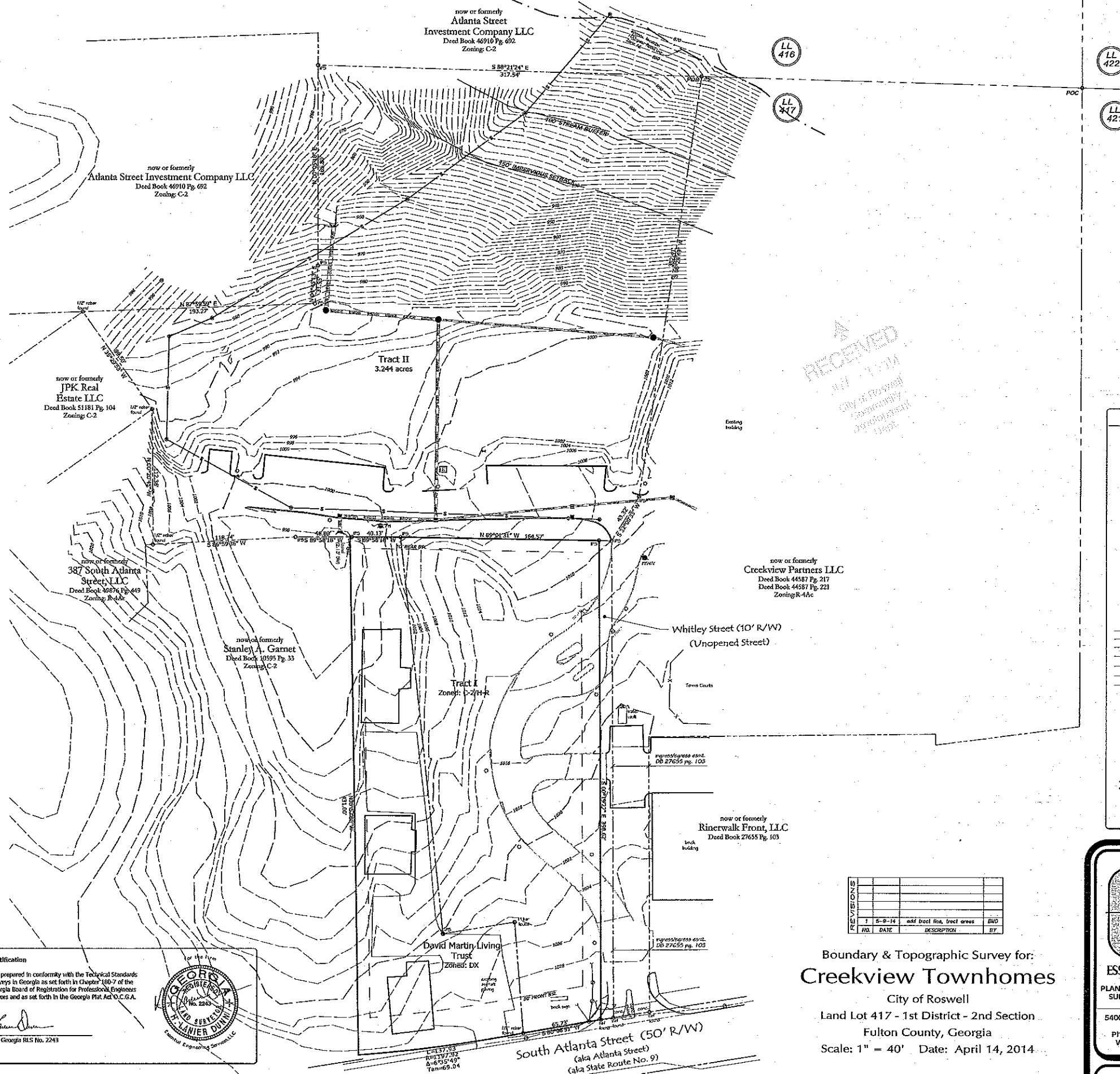
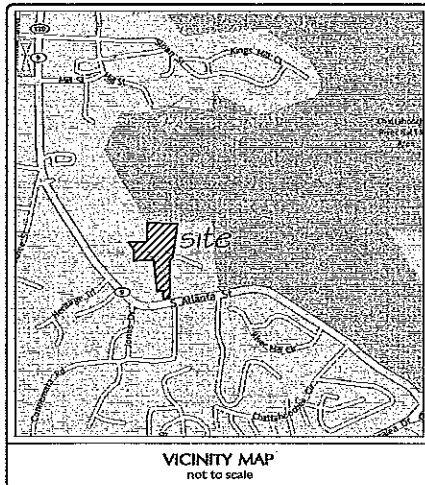




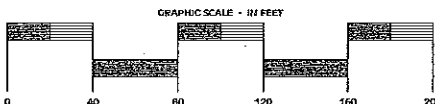
RECEIVED
CITY OF ROSWELL
COMMUNITY DEVELOPMENT
DEPT.

SURVEY NOTES

1. Site Area = Tract I - 1.228 acres, Tract II - 3.244 acres
2. This map or plat has been calculated for closure and is found to be accurate within 1 foot in 379,673 feet.
3. This plat has been prepared using a TOPCON GTS-313 Total Station for angle and distance measurements.
4. The field data upon which this map or plat is based has a closure precision of one (1) foot in 28,773 feet and an average angular error of 0.2 seconds per angle point, and was adjusted using Least Squares.
5. This property does not lie within a 100 year flood hazard zone as defined by the F.E.M.A. Insurance Rate Map of Fulton County, Georgia, Community Panel Number 13121C00630, dated September 18, 2013.

NOTE: Information regarding the reputed presence, size, character and location of existing underground utilities and structures is shown hereon. There is no certainty of the accuracy of this information and it shall be considered in that light by those using this drawing. The location and arrangement of underground utilities and structures shown hereon may be inaccurate and utilities and structures not shown may be encountered. The owner, his/her employees, his/her consultants and his/her contractors shall hereby distinctly understand that the engineer/surveyor is not responsible for the correctness or sufficiency of this information.

NOTE: This boundary survey was performed without the benefit of an Abstract of Title. Therefore this surveyor does not warrant this information to be totally accurate as other legal documents may exist that were not uncovered by this surveyor. It should be understood by those parties using this information that other matters of title may or may not exist.



Surveyor's Certification

This survey was prepared in conformity with the Technical Standards for Property Surveys in Georgia as set forth in Chapter 180-7 of the Rules of the Georgia Board of Registration for Professional Engineers and Land Surveyors and as set forth in the Georgia Plat Act O.C.G.A. 15-6-67.

H. Lander Denny, Georgia RLS No. 2243

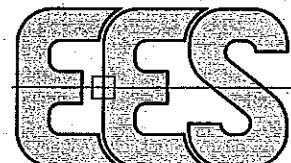


NO.	DATE	DESCRIPTION	BY
1	5-9-14	add tract line, tract areas	ELD

Boundary & Topographic Survey for:
Creekview Townhomes
City of Roswell
Land Lot 417 - 1st District - 2nd Section
Fulton County, Georgia
Scale: 1" = 40' Date: April 14, 2014

LEGEND

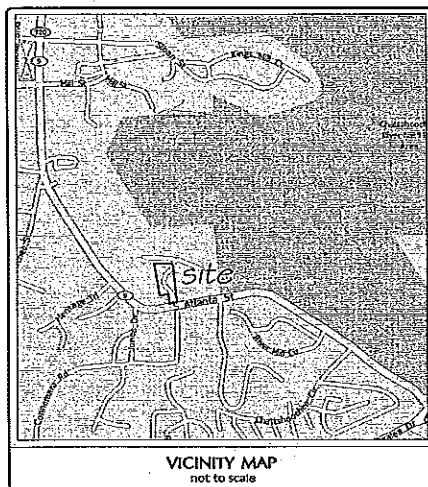
- AE Access Easement
- B.S.L. Building Setback Line
- CTP Clipped Top Pipe
- DE Drainage Easement
- DI Drop Inlet
- EP Edge of Pavement
- FH Fire Hydrant
- GM Gas Meter
- HW Head Wall
- OCS Outlet Control Structure
- OL On Line
- OTP Open Top Pipe
- PP Power Pole
- SE Sanitary Sewer Easement
- TE Telephone Easement
- UT Utility Easement
- OLT Overhead Telephone Line
- UGW Underground Water Line
- UGE Underground Electric Line
- UGT Underground Telephone Line
- DIP Ductile Iron Pipe
- ICV Irrigation Control Valve
- WW Water Valve
- WM Water Meter
- UGG Underground Gas Line
- GV Gas Valve
- WV Water Valve
- LP Lamp Post
- PP Power Pole w/ Light
- PP Power Pole
- UA Limited Access
- UGT Underground Telephone Line
- UGT Underground Electric Line
- GL Gas Line
- WL Water Line
- OPW Overhead Power Line
- FL Fence Line
- CO Clean Out
- EB Electric Box
- GM Gas Marker
- MH Sanitary Sewer Manhole
- TR Telephone Box
- WMR Water Marker
- WM Water Meter
- FES Flared End Section
- JB Junction Box
- OCS Outlet Control Structure
- SWC Double Winged Catch Basin
- SWC Single Winged Catch Basin
- DI Drop Inlet
- HW Head Wall
- FH Fire Hydrant
- PS 1/2" Rubber Set



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5400 Laurel Springs Parkway - Suite 1105
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Phone: 678-380-6007 Fax: 678-380-0371
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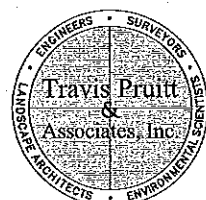
CN: 14019concept12-Track 1.dwg



SURVEY NOTES
1. Site Area = 1.228 acres and 0.72 acre David Martin Tract
2. This map or plat has been calculated for closure and is found to be accurate within 1 foot in 379,673 feet.
This plat has been prepared using a TOPCON GTS-313 Total Station for angle and distance measurements.
The field data upon which this map or plat is based has a closure precision of one (1) foot in 28,773 feet and an average angular error of 0.2 seconds per angle point, and was adjusted using Least Squares.
3. This property does not lie within a 100-year flood hazard zone as defined by the F.E.M.A. Insurance Rate Map of Fulton County, Georgia, Community Panel Number 13121000630, dated September 18, 2013.

NOTE: Information regarding the reported presence, size, character and location of existing underground utilities and structures is shown hereon. There is no certainty of the accuracy of this information and it shall be considered in that light by those using this drawing. The location and arrangement of underground utilities and structures shown hereon may be inaccurate and utilities and structures not shown may be encountered. The owner, his/her employees, his/her consultants and his/her contractors shall hereby distinctly understand that the engineer/surveyor is not responsible for the correctness or sufficiency of this information.

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Norcross, Georgia 30093
Phone: (770)416-7511
Fax: (770)416-6759
www.travispruitt.com

OWNER / DEVELOPER

Creek View Partners, LLC

Vinay Bose

3150 Overland Drive, Roswell, GA 30075

Ph:

24 HOUR - EMERGENCY CONTACT

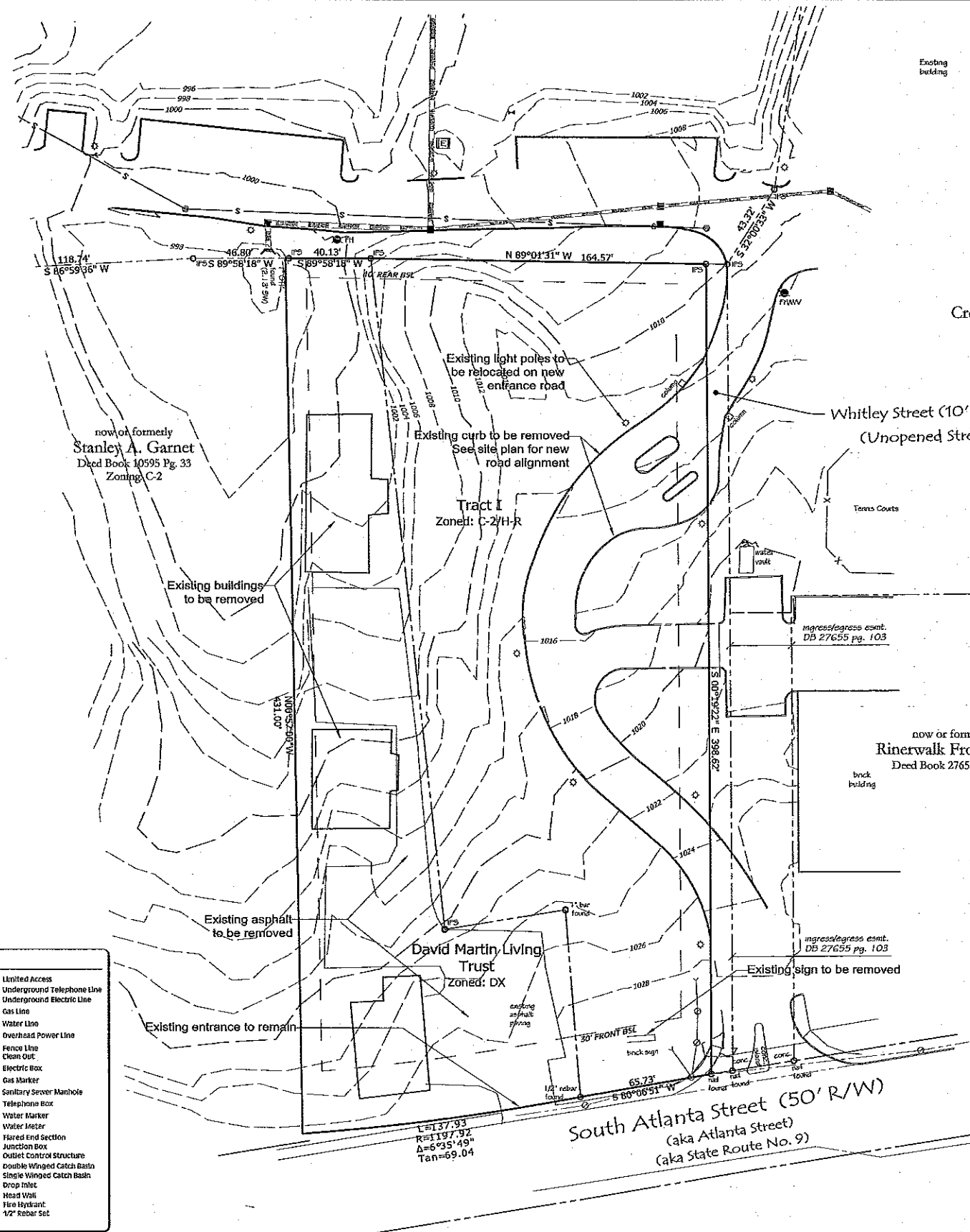
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LEGEND	
AE Access Easement	---/--- Limited Access
B.S.L. Building Setback Line	---/--- Underground Telephone Line
CIP Clamped Top Pipe	---/--- Underground Electric Line
DE Drainage Easement	---/--- Gas Line
DI Drop Inlet	---/--- Water Line
EP Edge of Pavement	---/--- Overhead Power Line
FI Fire Hydrant	---/--- Fence Line
GM Gas Meter	---/--- Clean Out
HV Head Valve	---/--- Electric Box
OC Outlet Control Structure	---/--- Gas Marker
OTL Open Top Line	---/--- Sanitary Sewer Manhole
PP Power Pole	---/--- Telephone Box
SSE Sanitary Sewer Easement	---/--- Water Marker
TE Telephone Easement	---/--- Water Meter
UE Utility Easement	---/--- Faced End Section
OKT Overhead Telephone Line	---/--- Junction Box
UCW Underground Water Line	---/--- Outlet Control Structure
UGE Underground Electric Line	---/--- Double Winged Catch Basin
UCa Underground Telephone Line	---/--- Single Winged Catch Basin
DIP Ductile Iron Pipe	---/--- Drop Inlet
ICV Irrigation Control Valve	---/--- Head Wall
WM Water Meter	---/--- Fire Hydrant
UCC Underground Gas Line	---/--- 1/2" Rebar Set
CV Cas Valve	
WV Water Valve	
LP Lamp Post	
Power Pole w/ Light	
PP Power Pole	

Surveyor's Certification

This survey was prepared in conformity with the Technical Standards for Property Surveys in Georgia as set forth in Chapter 160-7 of the Rules of the Georgia Board of Registration for Professional Engineers and Land Surveyors and as set forth in the Georgia Plat Act O.C.G.A. 15-6-67.

H. Lanier Dunn, Georgia RLS No. 2243



now or formerly
Creekview Partners LLC
Deed Book 44587 Pg. 217
Deed Book 44587 Pg. 221
Zoning: R-4Ac

now or formerly
Rinerwalk Front, LLC
Deed Book 27655 Pg. 103

- SITE NOTES**
1. Site area - 1.228 acres
Additional tract = 0.72 acres
 2. Density:
Commercial - 3,000 sf.
Townhomes - 12
Condominium - 7
Open Space: 43,567 sf (1 acre)
 3. Existing Zoning - C-2/H-R and DX
 4. Proposed Zoning - DX
 5. Proposed land use: MIX
 6. This property does not lie within a 100 year flood hazard zone as defined by the F.E.M.A. Insurance Rate Map of Fulton County, Georgia, Community Panel Number 13121000630, dated September 18, 2013.
 7. Public sanitary sewer service to be provided by Fulton County.
 8. Public water service to be provided by Fulton County.
 9. This site contains no known archaeological or historical sites.



Site Analysis

Creekview
Mixed Use
Plan
Tract I

Land Lot 417

1st District - 2nd Section

City of Roswell

Fulton County

Georgia

October 24, 2014

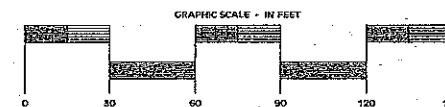
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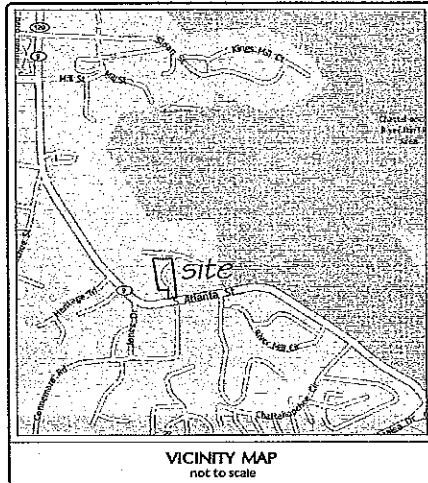
? County Project Number ?

CN: 14019concept12-Tract 1.dwg

Job Alias:

Sheet 2 of 4





VICINITY MAP
not to scale

SURVEY NOTES

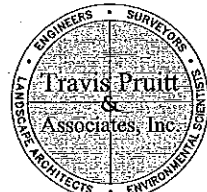
1. Site area = 1.228 acres and 0.72 acre David Martin
2. This map or plat has been calculated for closure and is found to be accurate within 1 foot in 375,673 feet.
3. This property does not lie within a 100 year flood hazard zone as defined by the F.E.M.A. Insurance Rate Map of Fulton County, Georgia, Community Panel Number 1312100060, dated September 18, 2015.

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STORMWATER MANAGEMENT NOTES

1. Water quality to be obtained by utilizing underground infiltration chambers below proposed drive aisles.
2. Alternate compliance for detention requirement to be achieved by the analysis of the downstream flow characteristics of the receiving waters.
3. Alternate compliance for channel protection to be achieved upon analysis of the downstream conveyance ability to handle the undetained flow from the site.



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Ph:

24 HOUR - EMERGENCY CONTACT

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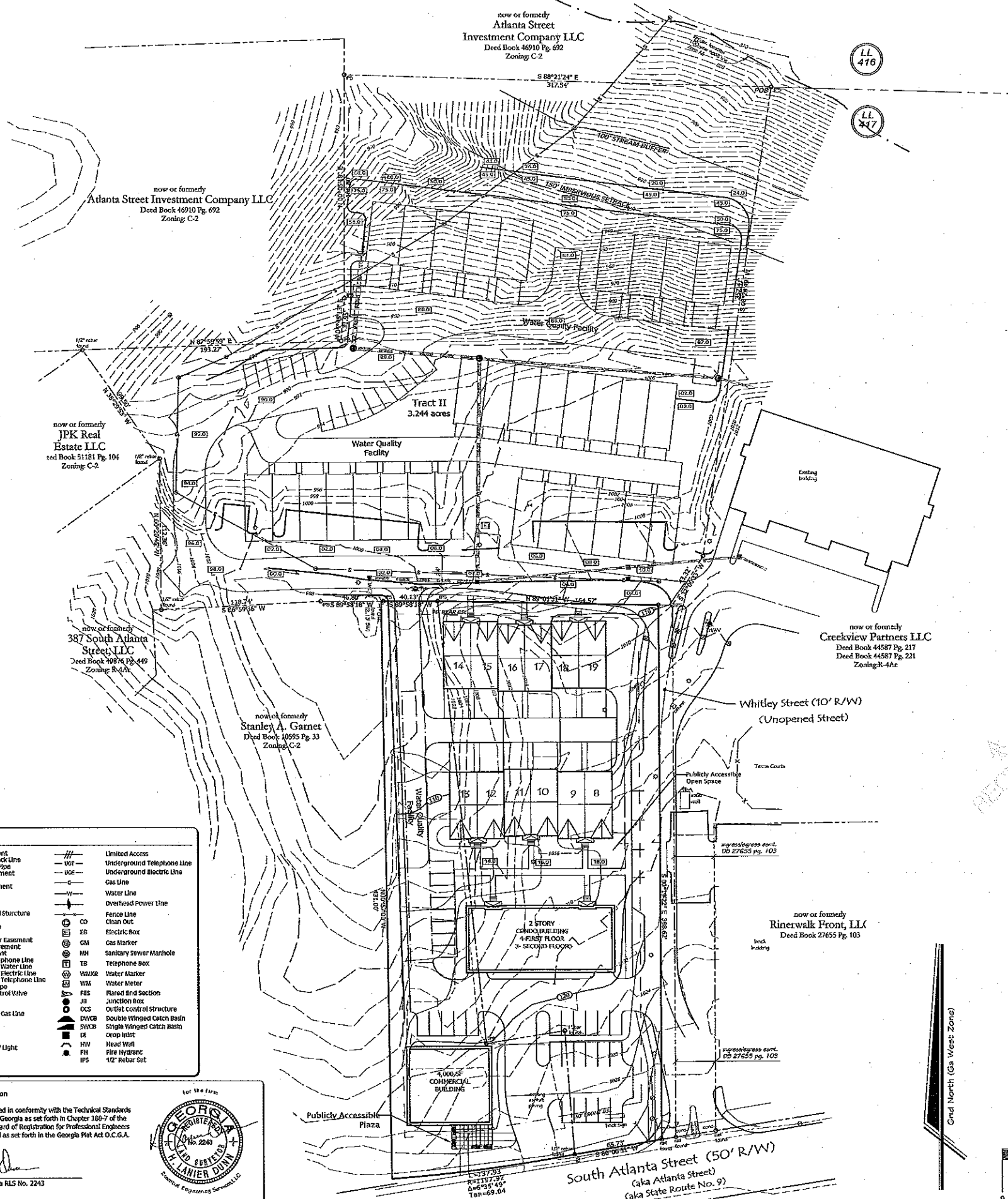
LEGEND

AS	Access Easement	///	Limited Access
B.S.L.	Building Setback Line	---	Underground Telephone Line
CTP	Crimped Top Pipe	---	Underground Electric Line
DE	Drainage Easement	---	Gas Line
DI	Drop Inlet	---	Water Line
EP	Edge of Pavement	---	Overhead Power Line
FM	Fire Hydrant	---	Fence Line
GM	Gas Meter	---	Clean Out
HW	Head Valve	---	Electric Box
OCS	Outlet Control Structure	---	Gas Marker
OL	On Line	---	Sanitary Sewer Manhole
OP	Open Top Pipe	---	Telephone Box
PP	Power Pole	---	Water Marker
SE	Sanitary Sewer Easement	---	Water Meter
TE	Telephone Easement	---	Flared End Section
UE	Utility Easement	---	Junction Box
OS	Overhead Telephone Line	---	Outlet Control Structure
UCV	Underground Water Line	---	Double Winged Catch Basin
UCE	Underground Electric Line	---	Single Winged Catch Basin
UCV	Underground Telephone Line	---	Drop Inlet
DP	Ductile Iron Pipe	---	Head Wall
IV	Irrigation Control Valve	---	Fire Hydrant
WV	Water Valve	---	1/2" Rebar Set
WM	Water Meter	---	
UG	Underground Gas Line	---	
CV	Gas Valve	---	
WV	Water Valve	---	
LP	Lamp Post	---	
PP	Power Pole w/ Light	---	
PP	Power Pole	---	

Surveyor's Certification

This survey was prepared in conformity with the Technical Standards for Property Surveys in Georgia as set forth in Chapter 18-7 of the Rules of the Georgia Board of Registration for Professional Engineers and Land Surveyors and as set forth in the Georgia Plat Act O.C.G.A. 15-6-67.

H. Lanier Dunn, Georgia RLS No. 2243



SITE NOTES

1. Site area - 1.228 acres
Additional tract = 0.72 acres
2. Density:
Commercial - 3,000 sf.
Townhomes - 12
Condominium - 7
Open Space: 43,567 sf (51%)
3. Existing Zoning - C-2/H-R and DX
4. Proposed Zoning - DX
5. Proposed land use: MIX
6. This property does not lie within a 100 year flood hazard zone as defined by the F.E.M.A. Insurance Rate Map of Fulton County, Georgia, Community Panel Number 1312100060, dated September 18, 2015.
7. Public sanitary sewer service to be provided by Fulton County.
8. Public water service to be provided by Fulton County.
9. This site contains no known archeological or historical sites.

DEVELOPMENT STATISTICS SUMMARY CHART

SITE DATA	REQUIRED	PROPOSED
Total Area of Site = 1.95 Acres		
Height of Proposed Building	45' Maximum	45'
Gross sq. footage of Commercial buildings	3,000 - 52,272 sf per acre	5,500 sf.
Gross sq. footage of Townhomes	10,000 - 52,272 sf per acre (1,200 sf Minimum)	(2,400 sf) x 4 = 9,600 sf.
Gross sq. footage of Condominiums		(1,200 sf) x 5 = 6,000 sf.
Landscaping Area		11,625 sf. planting areas
Public Open Space		16,988 sf. Public Space
Impervious Surface		41,375 sf. (49%)
Residential Parking	2 space per unit = 18 Min.	18 Spaces
Commercial Parking	1 per 125 of Commercial = 30 Min.	30 Spaces
Undeveloped and Open Space		43,567 sf. (51%)
Conditional Use Change	Current Zoning - C-2/H-R and DX	Mix
Setbacks	Front Setback = 30' from Major Street ROW Side Setback = 10' from Minor Street ROW Rear Setback = 10'	

Site Plan

Creekview Mixed Use Plan Tract I

Land Lot 417

1st District - 2nd Section

City of Roswell

Fulton County

Georgia

October 24, 2014

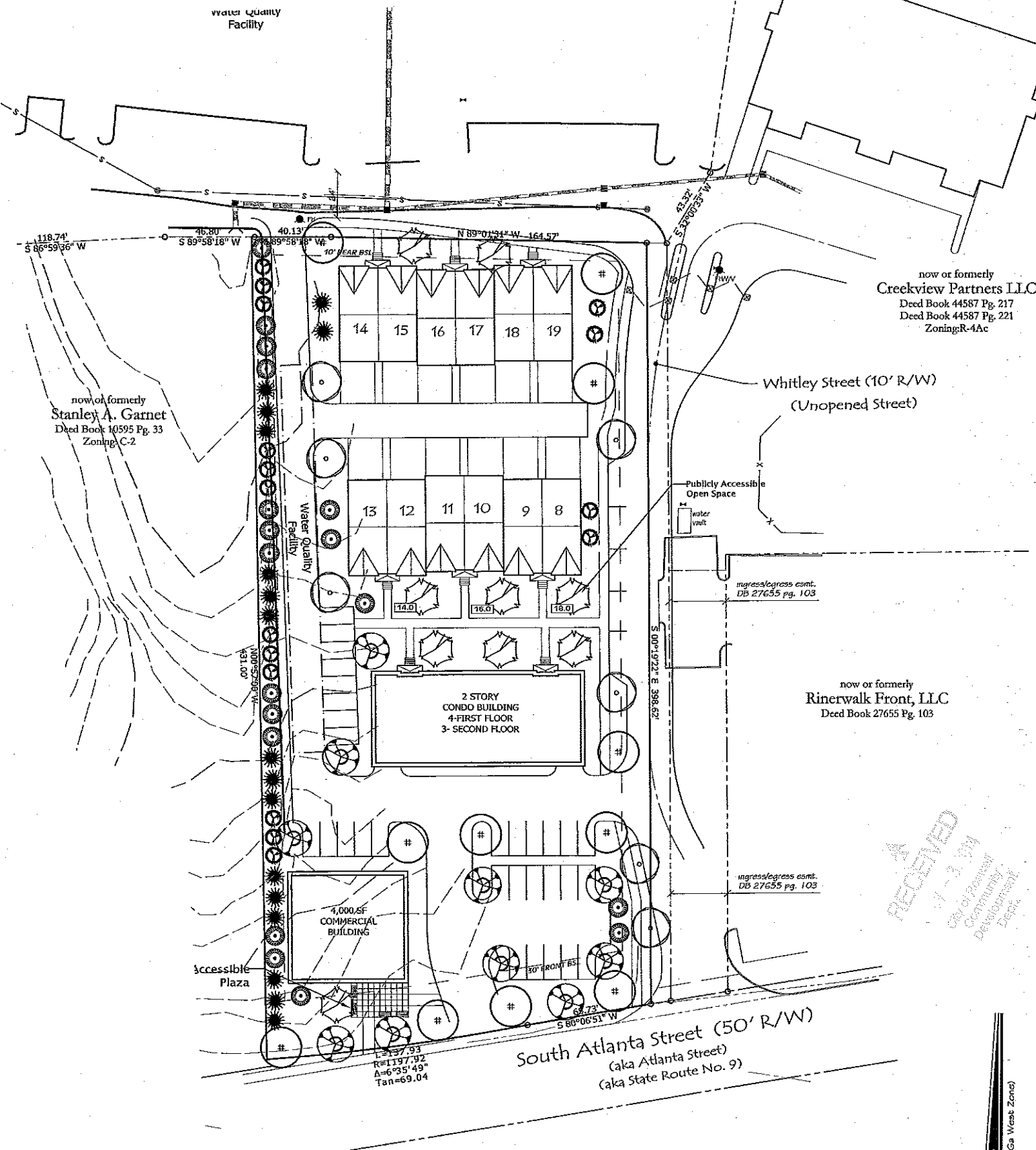
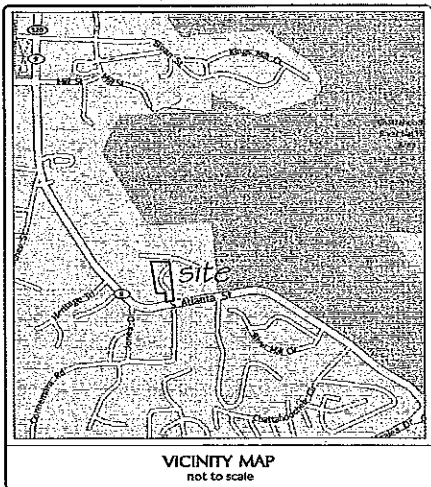
Scale : 1" = 40'

County Project Number ?

CN: 14019concept12-Tract 1.dwg

Job Alias:

Sheet 3 of 4



Tree Density Calculation

SITE DENSITY FACTOR(SDF) = 30 x Site Area
SDF = 1.95 acres x 30 = 58.5 TD
80 Proposed trees will be planted to meet tree density.

SPECIMEN TREE

There are no significant trees on the site.

NOTES

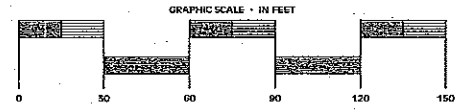
- Section 15.25 The Arborist shall make unscheduled inspections before and during development to ensure protection of trees, critical root zones and buffer zones.
- Section 15.2.6 (A) No person in the construction of any structure(s) or improvement(s) or any activity shall encroach or place solvents, material, construction machinery or temporary soil deposits within six (6) feet of the area outside the drip line, as defined herein, of any specimen tree or any tree within a tree protection zone.
- Section 16.2.6 (B) Before development, land clearing, filling or any land alteration, the developer shall be required to erect suitable protective barriers as required by the Arborist, including tree fences, tree protection signs, and erosion barriers until completion of site landscaping. Authorization to remove the protective device shall be in writing by the Arborist or by the issuance of a final Certificate of Occupancy. Inspection of tree protection barriers is required prior to any land disturbance or development. The Arborist shall be contracted to schedule an inspection time.
- Section 15.2.6 (C) Materials for active tree protection shall consist chain link, orange laminated plastic, wooden post and rail fencing or other equivalent restraining material in addition to fencing, where active tree protection is required, each tree to be saved shall be marked at the base of the trunk with blue colored water-based paint.
- Section 15.2.6 (D) Materials for passive tree protection shall consist of heavy mil. plastic flagging, a minimum of 4" (four inches) wide with dark letters reading "Tree Protection area Do Not Enter" or equivalent signage on a continuous durable restraint.
- Section 16.6.5 Any person, firm or corporation violating any provisions of this article shall be punished as described in Section 14 of the Code of the City of Roswell, and in addition thereto may be enjoined from continuing the violation. Each tree cut, damaged or poisoned shall constitute a separate offense. All trees shall be straight trunked, full headed and meet all requirements specified. All trees and shrubs must be container grown balled and burlapped with sizes as indicated on the plant list or on the drawings. All plants shall be healthy; vigorous, free of pest and diseases. All root balls, containers and height to width ratios shall conform to the size standards set forth in AMERICAN STANDARDS FOR NURSERY STOCK.
- Failure to plant with specified material will result in withholding of the Certificate of Occupancy.
 - A landscape maintenance bond for the total price of the material planted on-site will be required before the issuance of the Certificate of Occupancy.
 - No trees shall be planted within specified utility easements as shown on civil plans and tree protection plan.
 - Inspection requirements:
 - Roswell arborist shall inspect the site before land disturbance and before the issuance of a Certificate of Occupancy.
 - City of Roswell approval of landscape plan is required prior to landscape installation.
 - Trees to be saved/replaced as agreed upon by the city, owner, developer and contractor shall be the responsibility of the owner, developer and contractor.

PLANT LIST

SYMBOL	QTY	COMMON NAME	BOTANICAL NAME	SIZE/IN. BA	PLANTING	%	TDU	TOTAL
1	11	Nuttall Oak	Quercus nuttallii	4" CAL.	Matching	4%	0.4	4.4
2	8	Willow Oak	Quercus phellos 'Highlander'	4" CAL.	Matching	7%	0.6	8.1
3	4	Japanese Zelkova	Zelkova serrata 'Mushino'	4" CAL.	Matching	8%	0.3	4.1
4	4	Yoshino Cherry	Prunus x yedoensis 'Yoshino'	3" CAL.	Matching	8%	0.3	3.1
5	10	Eastern Red Cedar	Juniperus virginiana	2-10'	Matching, Full to ground	23%	0.5	4.0
6	10	Eastern Hemlock	Tsuga canadensis	2-10'	Matching, Full to ground	23%	0.5	4.0
7	17	Japanese Cedar	Cryptomeria japonica 'Yoshino'	2-10'	Matching, Full to ground	23%	0.5	4.0
8	40	Total						54.8

SITE NOTES

- Site area - 1.228 acres
Additional tract = 0.72 acres
- Density:
Commercial - 5,000 sf.
Townhomes - 12
Condominium - 7
Open Space: 43,567 sf (51%)
- Existing Zoning - C-2/R-R and DX
- Proposed Zoning - DX
- Proposed land use: MIX
- This property does not lie within a 100 year flood hazard zone as defined by the F.E.M.A. Insurance Rate Map of Fulton County, Georgia, Community Panel Number 15121C0063G, dated September 16, 2013.
- Public sanitary sewer service to be provided by Fulton County.
- Public water service to be provided by Fulton County.
- This site contains no known archeological or historical sites.



Tree Replacement Plan

Creekview Mixed Use Plan Tract I

Land Lot 417

1st District - 2nd Section

City of Roswell

Fulton County

Georgia

October 24, 2014

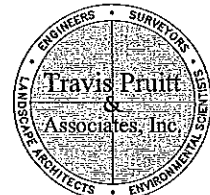
Scale: 1" = 30'

? County Project Number ?

CN: 14019concept12-Tract 1.dwg

Job Alias:

Sheet 4 of 4



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OWNER / DEVELOPER

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Vinay Bose

3150 Overland Drive, Ph:
Roswell, GA 30075

24 HOUR - EMERGENCY CONTACT

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